

DRAWING LIST		
DRAWING No.	DRAWING NAME	REVISION
DA 1001	COVER SHEET	A
DA 1002	COMPLIANCE TABLE	A
DA 1003	UNIT SCHEDULE 1	A
DA 1004	UNIT SCHEDULE 2	A
DA 1005	UNIT SCHEDULE 3	A
DA 1006	SITE PLAN	A
DA 1011	SITE ANALYSIS - TRANSPORT, AMENITY & NETWORK ANALYSIS	A
DA 1012	SITE ANALYSIS - PLAN	A
DA 1013	SITE ANALYSIS - BUILT FORM	A
DA 1015	SITE ANALYSIS - STREETSCAPE	A
DA 1101	BASEMENT LEVEL 2 FLOOR PLAN	A
DA 1102	BASEMENT LEVEL 1 FLOOR PLAN	A
DA 1103	OVERALL GROUND FLOOR PLAN	A
DA 1104	OVERALL LEVEL 1 FLOOR PLAN	A
DA 1105	OVERALL LEVEL 2 FLOOR PLAN	A
DA 1106	OVERALL LEVEL 3 FLOOR PLAN	A
DA 1107	OVERALL LEVEL 4 FLOOR PLAN	A
DA 1108	OVERALL LEVEL 5 FLOOR PLAN	A
DA 1109	OVERALL LEVEL 6 FLOOR PLAN	A
DA 1110	OVERALL LEVEL 7 FLOOR PLAN	A
DA 1111	OVERALL LEVEL 8 FLOOR PLAN	A
DA 1112	OVERALL LEVEL 9 FLOOR PLAN	A

DRAWING LIST		
DRAWING No.	DRAWING NAME	REVISION
DA 1113	OVERALL ROOF TERRACE PLAN	A
DA 1114	OVERALL ROOF PLAN	A
DA 2001	NORTH ELEVATION	A
DA 2002	SOUTH ELEVATION	A
DA 2003	EAST ELEVATION	A
DA 2004	WEST ELEVATION	A
DA 2011	BUILDING A NORTH ELEVATION	A
DA 2012	BUILDING A SOUTH ELEVATION	A
DA 2013	BUILDING A EAST ELEVATION	A
DA 2014	BUILDING A WEST ELEVATION	A
DA 2021	BUILDING B NORTH ELEVATION	A
DA 2022	BUILDING B SOUTH ELEVATION	A
DA 2023	BUILDING B EAST ELEVATION	A
DA 2024	BUILDING B WEST ELEVATION	A
DA 2031	BUILDING C NORTH ELEVATION	A
DA 2032	BUILDING C SOUTH ELEVATION	A
DA 2033	BUILDING C EAST ELEVATION	A
DA 2034	BUILDING C WEST ELEVATION	A
DA 3001	BUILDING SECTIONS	A
DA 3002	BUILDING SECTIONS	A
DA 3003	DRIVEWAY & RAMP SECTIONS	A
DA 3004	DRIVEWAY & RAMP SECTIONS	A

DRAWING LIST		
DRAWING No.	DRAWING NAME	REVISION
DA 5001	PRE + POST ADAPTABLE UNIT LAYOUT - BUILDING A	A
DA 5002	PRE + POST ADAPTABLE UNIT LAYOUT - BUILDING A	A
DA 5003	PRE + POST ADAPTABLE UNIT LAYOUT - BUILDING B	A
DA 5004	SDA UNIT LAYOUT - BUILDING C	A
DA 6001	SHADOW DIAGRAMS	A
DA 6021	SUN ANGLE VIEWS 9AM - 21 JUNE	A
DA 6022	SUN ANGLE VIEWS 10AM - 21 JUNE	A
DA 6023	SUN ANGLE VIEWS 11AM - 21 JUNE	A
DA 6024	SUN ANGLE VIEWS 12PM - 21 JUNE	A
DA 6025	SUN ANGLE VIEWS 1PM - 21 JUNE	A
DA 6026	SUN ANGLE VIEWS 2PM - 21 JUNE	A
DA 6027	SUN ANGLE VIEWS 3PM - 21 JUNE	A
DA 6028	SOLAR SCHEDULE 1	A
DA 6029	SOLAR SCHEDULE 2	A
DA 6031	SOLAR ACCESS STUDY 1	A
DA 6032	SOLAR ACCESS STUDY 2	A
DA 6041	CHILDCARE OUTDOOR AREA SOLAR ACCESS STUDY - 8AM	A
DA 6042	CHILDCARE OUTDOOR AREA SOLAR ACCESS STUDY - 9AM	A
DA 6043	CHILDCARE OUTDOOR AREA SOLAR ACCESS STUDY - 10AM	A
DA 6044	CHILDCARE OUTDOOR AREA SOLAR ACCESS STUDY - 11AM	A
DA 6045	CHILDCARE OUTDOOR AREA SOLAR ACCESS STUDY - 12PM	A
DA 6046	CHILDCARE OUTDOOR AREA SOLAR ACCESS STUDY - 1PM	A

DRAWING LIST		
DRAWING No.	DRAWING NAME	REVISION
DA 6047	CHILDCARE OUTDOOR AREA SOLAR ACCESS STUDY - 2PM	A
DA 6048	CHILDCARE OUTDOOR AREA SOLAR ACCESS STUDY - 3PM	A
DA 6049	CHILDCARE OUTDOOR AREA SOLAR ACCESS STUDY - 4PM	A
DA 7001	GFA CALCULATION 1	A
DA 7002	GFA CALCULATION 2	A
DA 7003	GFA CALCULATION 3	A
DA 7005	CHILDCARE INDOOR AREA CALCULATION	A
DA 7006	CHILDCARE OUTDOOR AREA CALCULATION	A
DA 7011	SOLAR ACCESS PLAN 1	A
DA 7012	SOLAR ACCESS PLAN 2	A
DA 7013	SOLAR ACCESS PLAN 3	A
DA 7021	VENTILATION DIAGRAM 1	A
DA 7022	VENTILATION DIAGRAM 2	A
DA 7023	VENTILATION DIAGRAM 3	A
DA 7061	FINISHES SCHEDULE- SHEET 1	A
DA 7062	FINISHES SCHEDULE- SHEET 2	A
DA 7063	FINISHES SCHEDULE- SHEET 3	A
DA 7071	DEEP SOIL ZONE	A
DA 7081	COMMUNUAL OPEN SPACE DIAGRAM	A
DA 7091	3D VIEW- SHEET 1	A
DA 7101	LEP HEIGHT BLANKET 1	A
DA 7102	LEP HEIGHT BLANKET 2	A
DA 7103	LEP HEIGHT BLANEKT 3	A

REFERENCES
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PROPOSED MIXED USE DEVELOPMENT

691-695 VICTORIA ROAD, RYDE, 2112 NSW

A	27.11.2023	DA SUBMISSION
Rev.	Date	Description

Project Architect
<div>DDA</div> <div>CDARCHITECTS</div>
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Project PROPOSED MIXED USE DEVELOPMENT
691- 695 Victoria Road, Ryde
Drawing Title

COVER SHEET

DA SUBMISSION			
Job no.	Drawing no.	Rev.	
J23589D	DA 1001	A	
Drawn by SP	Checked by RJ	Approved by ZC	Date SEP. 2023

RYDE CITY COUNCIL LOCAL ENVIRONMENTAL PLAN 2014

SITE AREA	6296.8m²
ZONING	MU1
RELEVANT CONTROLS	MIXED USE
COUNCIL	RYDE CITY COUNCIL
LOT / DP No.	17/DP777986, 2/DP443925, 3/DP443926 & 4/DP5873
FSR	1.8:1 + 0.7:1 (CLAUSE 4.4A AREA) = 2.5:1
HEIGHT OF BUILDING	18.5m + 3m Bonus = 21.5m
HERITAGE	NOT AFFECTED
ACID SULPHATE SOILS	NOT AFFECTED
KEY SITE	NOT AFFECTED
FLOOD PLANNING AREA	NOT AFFECTED
LAND RESERVATION ACQUISITION	NOT AFFECTED
NATURAL RESOURCE - BIODIVERSITY	NOT AFFECTED
FORESHORE BUILDING LINE	NOT AFFECTED

CAR PARKING SCHEDULE BY THE RYDE CITY COUNCIL DCP 2014

UNITS (194)	RATE	REQUIRED	PROPOSED
1 BED (64)	0.6-1 SPACE / 1 UNIT	64	64
2 BED (116)	0.9-1.2 SPACE / 1 UNIT	116	118
3 BED (14)	1.4-1.6 SPACE / 1 UNIT	22.4	23
VISITORS	1 SPACE / 5 UNITS	39	39
CARWASH BAY	1 SPACE	1	1
TOTAL		241.4	245
CHILDCARE (120 KIDS)			
120 CHILDREN	1 SPACE / 8 CHILDREN	15	15
18 STAFFS	1 SPACE / 2 STAFFS	9	9
TOTAL		24	24
GRAND TOTAL		266.4	269

UNIT MIX	COUNT
1 BED	64
2 BED	116
3 BED	14

TOTAL: 194

BICYCLE SCHEDULE FOR MU1 ZONE THE RYDE CITY COUNCIL

UNITS (194)	RATE	REQUIRED	PROPOSED
RESIDENTIAL	10% OF REQUIRED CAR SPACES	26.9	27
TOTAL		26.9	27

SOLAR ACCESS LEGEND

TOTAL NUMBER OF UNITS	TARGET COMPLIANCE REQUIRED	PROPOSED UNITS RECEIVING OVER 2 HOURS SOLAR ACCESS ON JUNE 21st BETWEEN 9am - 3pm
194 UNITS	135.8 UNITS (70%)	142 UNITS (73.1%)
<div></div>	APARTMENTS / BALCONIES RECEIVING OVER 2 HOURS SOLAR ACCESS ON JUNE 21St BETWEEN 9am - 3pm	
<div></div>	APARTMENTS / BALCONIES RECEIVING UNDER 2 HOURS SOLAR ACCESS ON JUNE 21St BETWEEN 9am - 3pm	
<div></div>	APARTMENTS / BALCONIES RECEIVING NO SOLAR ACCESS ON JUNE 21St BETWEEN 9am - 3pm	

VENTILATION LEGEND

TOTAL NUMBER OF UNITS	TARGET COMPLIANCE REQUIRED	PROPOSED UNITS RECEIVING NATURAL CROSS VENTILATION
194 UNITS	116.4 UNITS (60%)	119 UNITS (61.3%)
<div></div>	NATURAL CROSS VENTILATED APARTMENTS	
<div></div>	NATURAL CROSS VENTILATED APARTMENTS	
<div></div>	NATURAL CROSS VENTILATED CORRIDOR	

AREA CALCULATIONS - FLOOR SPACE RATIO

ZONE	MU1
	MIXED USE
SITE AREA	6296.8m²
PERMISSIBLE FLOOR SPACE RATIO	1.8:1
ADDITIONAL FSR	.
RYDE LEP 2014 CLAUSE 4.4A AREA I	0.7:1
TOTAL FLOOR SPACE RATIO	2.5:1
PERMISSIBLE GFA	15742 m²
PROPOSED FLOOR SPACE RATIO	2.57:1
TOTAL GFA	16207 m²

WASTE CALCULATION

	RATE OF WASTE	TOTAL WASTE	BIN SIZE	NO. OF BINS COMPLIANCE REQUIRED	NO. OF BINS PROPOSED
RESIDENTIAL (194 UNITS)					
WASTE	120L/UNIT/WEEK	23,280L	1100L	21.16	8 BINS/ 3 TIMES A WEEK
RECYCLE	120L/UNIT/WEEK	23,280L	1100L	21.16	8 BINS/ 3 TIMES A WEEK
GREEN	120L/UNIT/DAY	N/A	240L	5	5 BINS/ ONCE EVERY TWO WEEKS
PROPOSED TOTAL				16 X 1100L BINS	5 X 240L BINS
CHILDCARE (120 KIDS)					
WASTE	5L/CHILD/DAY	3000L	240L	12.5	7 BINS/ 2 TIMES A WEEK
RECYCLE	5L/CHILD/DAY	3000L	240L	12.5	7 BINS/ 2 TIMES A WEEK
PROPOSED TOTAL				14 X 240L BINS	

GENERAL WASTE BIN RECYCLE BIN GREEN WASTE BIN

Overall Sunlight Access to Living Rooms & Private Open Space	70%	70% min. 2 hours direct sunlight between 9 am and 3 pm at mid-winter Sydney Metropolitan Area and in the Newcastle and Wollongong LGA		135.8 apartments out of 194	142 out of 194 units (73.1%) receiving 2 hours of solar access	Yes ✓	
	15%	Maximum 15% no direct sunlight between 9 am and 3 pm at mid-winter		29.1 apartments out of 194	27 out of 194(13.9%) units receive no direct sunlight	Yes ✓	
Natural Cross Ventilation	60%	60% of units should be naturally cross ventilated		116.4 apartments out of 194	119 out of 194 units (61.3%)	Yes ✓	
		Units at 10 storeys and above with balcony which allows adequate natural ventilation	Deemed to be cross ventilated				
		Cross-Over & Cross-Through units:	Maximum 18m depth				
Minimum Apartment Sizes	100%	Studio	35m²	To Comply	Studio ≥ 35 m²	Yes ✓	
		1 Bed	50m²		1 Bed ≥ 50 m²		
		2 Bed	70m² + 5m² per extra bath		2 Bed ≥ 75 m²		
		3 Bed	90m² + 5m² per extra bath		3 Bed ≥ 95 m²		
Habitable room depths	-	Maximum 2.5 x the ceiling height		Max. 8m	Max. 8m	Yes ✓	
		Open plan layouts: 8m from a window					
Living rooms internal width	100%	Studio and 1 Bed units	3.6m	To Comply	All living rooms internal width comply	Yes ✓	
		2 Bed and 3 Bed units	4.0m				
		Cross-Over/Through units	4.0m				
Bedroom Dimension/Area (excluding wardrobe)	100%	Min. Dimension	3.0m	To Comply	All bedrooms dimension/ Area comply	Yes ✓	
		Master Bed Minimum Area	10m²				
		Other Bed(s) Minimum Area	9.0m²				
Minimum Ceiling Heights	100%	Habitable rooms:	2.7m	min. 2.7m	2.7m	Yes ✓	
		Non-habitable rooms	2.4m	min. 2.4m	2.7m		
		Mixed use Ground Floor	3.3m	min. 3.3m	3.72m		
Primary Balcony/Private Open Space Minimum Area & Dimension	100%	Studio	4.0m²	All balconies and P.O.S. to be provided with min requirements	All the balconies and P.O.S. provided with min requirements	Yes ✓	
		1 Bed	8.0m² (min. 2m Dimension)				
		2 Bed	10.0m² (min. 2m Dimension)				
		3+ Bed	12.0m² (min. 2.4m Dimension)				
		Private Open Space on Ground Floor or on a podium	15.0m² (min. 3.0m Dimension)				
		Min. Balcony depth as contributing to the balcony area	1m				
Minimum Storage Requirements	-	Studio	4.0m³	Min. 50% inside of Unit	min. 4.0m³	All units provided with required storage area (refer to the storage schedule)	Yes ✓
		1 Bed	6.0m³		min. 6.0m³		
		2 Bed	8.0m³		min. 8.0m³		
		3 Bed	10.0m³		min.10.0m³		
Common circulation	-	Max. units off a circulation core on a single level	8 Units /Core Proffered 12 Units/Core Max.	12 Units	Max 7 Units. / Core	Yes ✓	
		Min. units sharing a single lift for building 10 storeys and over	40 Units per Lift	40 units	Comply		
Building Depth	-	Max. 18m Building Depth Glass line to Glass Line		12-18m Pref.	APPROX. 18m	Yes ✓	
Building Separation	-	Up to 4 storeys (approx. 12m):	12m hab. and hab. (6m to side & rear boundary) 9m hab. and non-hab. 6m non-hab rooms. (3m to side & rear boundary)	To Comply	Comply	Yes ✓	
		5 to 8 storeys (approx. 25m):	18m hab. and hab. (9m to side & rear boundary) 12m hab. and non-hab. 9m non-hab rooms. (4.5m to side & rear boundary)				
		9 storeys and above (over 25m):	24m hab. and hab. (12m to side & rear boundary) 18m hab. and non-hab. 12m non-hab rooms. (6m to side & rear boundary)				
		Lower density at next door	Additional 3m setback from the next door boundary				
Deep Soil Zone	7%	7% of site area on site		Recommended DSZ = 440.8m² (7%)	509m² (8%) has been proposed as deep soil zone with more than 6m depth	Yes ✓	
		Minimum dimensions	Site area 650m - 1500m² ; 3m Site area > 1500m² ; 6m				
Communal Open Space (C.O.S.)	25%	25% of site area		Recommended COS =1574.2m²	2774.1m²(44.0%) has been proposed	Yes ✓	
		(50% of C.O.S. should receive sunlight access for a 2 hours between 9 am and 3 pm on 21 June)		Recommended 787.1m² (50% of COS)	1605.8m² of COS receives 2 Hrs (100%)	Yes ✓	
RMS Car parking rates are applied for development on sites;	-	Within 800m of a railway station or light rail stop in Sydney Metropolitan Area		Within 800m radius of railway station	Refer to traffic report	Yes ✓	
		On land zoned, and within 400m of land zoned, B3, B4 or equivalent in a nominated Regional Centre					

REFERENCES

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A	27.11.2023	DA SUBMISSION
Rev.	Date	Description

Project Architect

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Nominated Architect: Lijana Ermilova 7887, ABN 24 243 205 327

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Project

PROPOSED MIXED USE DEVELOPMENT

691- 695 Victoria Road, Ryde

Drawing Title

COMPLIANCE TABLE

DA SUBMISSION

Job no.	Drawing no.	Rev.
J23589D	DA 1002	A
Drawn by	Checked by	Approved by
SP	RJ	ZC
		Date
		SEP. 2023

REFERENCES

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UNIT SCHEDULE										
UNIT NUMBER	UNIT DESCRIPTION	ADAPT/LIV	UNIT AREA	BALCONY AREA	TOTAL AREA	SOLAR ACCESS	VENTILATION	UNIT STORAGE	BASEMENT STORAGE	TOTAL STORAGE
UG01	2 BEDROOM RESIDENTIAL UNIT		81 m²	41 m²	122 m²	Over 2Hrs	Yes	8.29 m³	8.68 m³	16.97 m³
UG02	2 BEDROOM RESIDENTIAL UNIT	LIVEABLE	88 m²	52 m²	140 m²	Over 2Hrs	No	8.96 m³	6.63 m³	15.59 m³
UG03	2 BEDROOM RESIDENTIAL UNIT	ADAPT/LIV	89 m²	27 m²	116 m²	Over 2Hrs	Yes	5.78 m³	6.63 m³	12.41 m³
UG04	1 BEDROOM RESIDENTIAL UNIT		57 m²	32 m²	89 m²	Over 2Hrs	No	6.81 m³	4.96 m³	11.77 m³
UG05	2 BEDROOM RESIDENTIAL UNIT	LIVEABLE	79 m²	32 m²	111 m²	Over 2Hrs	Yes	5.08 m³	6.69 m³	11.77 m³
UG06	2 BEDROOM RESIDENTIAL UNIT		78 m²	14 m²	92 m²	None	Yes	4.81 m³	6.63 m³	11.44 m³
UG07	1 BEDROOM RESIDENTIAL UNIT	LIVEABLE	51 m²	18 m²	69 m²	None	No	9.29 m³	4.91 m³	14.20 m³
UG08	1 BEDROOM RESIDENTIAL UNIT	LIVEABLE	50 m²	13 m²	63 m²	None	No	4.38 m³	4.91 m³	9.29 m³
UG09	2 BEDROOM RESIDENTIAL UNIT		91 m²	21 m²	112 m²	Under 2Hrs	No	8.46 m³	6.63 m³	15.09 m³
UG10	2 BEDROOM RESIDENTIAL UNIT	ADAPT/LIV	78 m²	28 m²	106 m²	Over 2Hrs	No	4.44 m³	6.63 m³	11.07 m³
UG11	2 BEDROOM RESIDENTIAL UNIT		78 m²	25 m²	103 m²	Over 2Hrs	No	5.23 m³	6.69 m³	11.93 m³
UG12	2 BEDROOM RESIDENTIAL UNIT	LIVEABLE	86 m²	38 m²	124 m²	Over 2Hrs	Yes	4.54 m³	6.00 m³	10.53 m³
U101	2 BEDROOM RESIDENTIAL UNIT		77 m²	12 m²	89 m²	Over 2Hrs	Yes	4.08 m³	6.00 m³	10.08 m³
U102	1 BEDROOM RESIDENTIAL UNIT	ADAPT/LIV	58 m²	8 m²	66 m²	Over 2Hrs	No	7.40 m³	4.03 m³	11.43 m³
U103	2 BEDROOM RESIDENTIAL UNIT		76 m²	10 m²	86 m²	Over 2Hrs	Yes	6.32 m³	6.08 m³	12.41 m³
U104	2 BEDROOM RESIDENTIAL UNIT	ADAPT/LIV	90 m²	10 m²	101 m²	Over 2Hrs	Yes	11.11 m³	4.34 m³	15.45 m³
U105	1 BEDROOM RESIDENTIAL UNIT		56 m²	8 m²	64 m²	Over 2Hrs	No	6.81 m³	8.66 m³	15.47 m³
U106	2 BEDROOM RESIDENTIAL UNIT		75 m²	10 m²	85 m²	Over 2Hrs	Yes	4.58 m³	4.40 m³	8.98 m³
U107	2 BEDROOM RESIDENTIAL UNIT	LIVEABLE	78 m²	10 m²	88 m²	None	Yes	4.75 m³	4.29 m³	9.04 m³
U108	1 BEDROOM RESIDENTIAL UNIT		53 m²	9 m²	62 m²	None	No	14.92 m³	4.49 m³	19.41 m³
U109	3 BEDROOM RESIDENTIAL UNIT		100 m²	12 m²	112 m²	Over 2Hrs	Yes	7.89 m³	8.88 m³	16.77 m³
U110	1 BEDROOM RESIDENTIAL UNIT		54 m²	8 m²	62 m²	Under 2Hrs	No	5.68 m³	4.49 m³	10.17 m³
U111	2 BEDROOM RESIDENTIAL UNIT		83 m²	11 m²	93 m²	Over 2Hrs	Yes	10.19 m³	4.04 m³	14.23 m³
U112	3 BEDROOM RESIDENTIAL UNIT	ADAPT/LIV	103 m²	53 m²	156 m²	Over 2Hrs	Yes	28.21 m³	9.55 m³	37.76 m³
U113	3 BEDROOM RESIDENTIAL UNIT	LIVEABLE	102 m²	30 m²	132 m²	Under 2Hrs	No	8.79 m³	10.48 m³	19.27 m³
U114	1 BEDROOM RESIDENTIAL UNIT		57 m²	8 m²	65 m²	None	Yes	3.90 m³	7.78 m³	11.67 m³
U115	1 BEDROOM RESIDENTIAL UNIT		54 m²	8 m²	62 m²	Over 2Hrs	No	4.67 m³	4.04 m³	8.72 m³
U116	2 BEDROOM RESIDENTIAL UNIT		85 m²	11 m²	96 m²	Under 2Hrs	Yes	4.76 m³	4.04 m³	8.80 m³
U117	2 BEDROOM RESIDENTIAL UNIT		90 m²	19 m²	110 m²	Under 2Hrs	No	14.95 m³	4.04 m³	18.99 m³
U201	2 BEDROOM RESIDENTIAL UNIT		77 m²	12 m²	89 m²	Over 2Hrs	Yes	4.08 m³	5.05 m³	9.14 m³
U202	1 BEDROOM RESIDENTIAL UNIT	ADAPT/LIV	58 m²	8 m²	66 m²	Over 2Hrs	No	2.26 m³	5.38 m³	7.64 m³
U203	2 BEDROOM RESIDENTIAL UNIT		76 m²	10 m²	86 m²	Over 2Hrs	Yes	6.32 m³	5.22 m³	11.55 m³
U204	2 BEDROOM RESIDENTIAL UNIT	ADAPT/LIV	90 m²	10 m²	101 m²	Over 2Hrs	Yes	5.78 m³	4.04 m³	9.82 m³
U205	1 BEDROOM RESIDENTIAL UNIT		56 m²	8 m²	64 m²	Over 2Hrs	No	6.81 m³	4.04 m³	10.85 m³
U206	2 BEDROOM RESIDENTIAL UNIT		75 m²	10 m²	85 m²	Over 2Hrs	Yes	4.58 m³	4.04 m³	8.62 m³
U207	2 BEDROOM RESIDENTIAL UNIT	LIVEABLE	78 m²	10 m²	88 m²	None	Yes	4.75 m³	10.33 m³	15.07 m³
U208	1 BEDROOM RESIDENTIAL UNIT		53 m²	9 m²	62 m²	None	No	14.92 m³	4.04 m³	18.96 m³
U209	2 BEDROOM RESIDENTIAL UNIT		78 m²	10 m²	87 m²	None	Yes	4.56 m³	12.35 m³	16.91 m³
U210	2 BEDROOM RESIDENTIAL UNIT		75 m²	10 m²	86 m²	Over 2Hrs	Yes	4.27 m³	4.98 m³	9.25 m³
U211	1 BEDROOM RESIDENTIAL UNIT		52 m²	8 m²	60 m²	Over 2Hrs	No	5.68 m³	8.09 m³	13.77 m³
U212	1 BEDROOM RESIDENTIAL UNIT		54 m²	8 m²	62 m²	Over 2Hrs	No	5.68 m³	12.48 m³	18.16 m³
U213	2 BEDROOM RESIDENTIAL UNIT		83 m²	11 m²	94 m²	Over 2Hrs	Yes	10.19 m³	4.04 m³	14.23 m³
U214	3 BEDROOM RESIDENTIAL UNIT	ADAPT/LIV	103 m²	12 m²	115 m²	Over 2Hrs	Yes	7.49 m³	10.95 m³	18.44 m³
U215	3 BEDROOM RESIDENTIAL UNIT	LIVEABLE	102 m²	12 m²	114 m²	Under 2Hrs	No	6.12 m³	10.39 m³	16.51 m³
U216	1 BEDROOM RESIDENTIAL UNIT		57 m²	8 m²	66 m²	None	Yes	3.90 m³	4.04 m³	7.94 m³
U217	1 BEDROOM RESIDENTIAL UNIT		54 m²	8 m²	62 m²	Over 2Hrs	No	4.67 m³	15.88 m³	20.55 m³
U218	2 BEDROOM RESIDENTIAL UNIT		92 m²	10 m²	102 m²	Under 2Hrs	Yes	4.26 m³	4.61 m³	8.88 m³
U219	2 BEDROOM RESIDENTIAL UNIT		75 m²	60 m²	134 m²	None	Yes	4.37 m³	4.57 m³	8.94 m³
U220	2 BEDROOM RESIDENTIAL UNIT		75 m²	20 m²	94 m²	Under 2Hrs	Yes	4.46 m³	5.04 m³	9.50 m³
U221	1 BEDROOM RESIDENTIAL UNIT		50 m²	8 m²	58 m²	Over 2Hrs	Yes	5.54 m³	15.73 m³	21.27 m³
U301	2 BEDROOM RESIDENTIAL UNIT		77 m²	12 m²	89 m²	Over 2Hrs	Yes	4.08 m³	4.50 m³	8.58 m³
U302	1 BEDROOM RESIDENTIAL UNIT		53 m²	14 m²	67 m²	Over 2Hrs	No	10.18 m³	9.47 m³	19.65 m³
U303	2 BEDROOM RESIDENTIAL UNIT		76 m²	10 m²	86 m²	Over 2Hrs	Yes	4.72 m³	4.50 m³	9.22 m³
U304	2 BEDROOM RESIDENTIAL UNIT		86 m²	17 m²	103 m²	Over 2Hrs	Yes	5.21 m³	4.50 m³	9.71 m³
U305	2 BEDROOM RESIDENTIAL UNIT		75 m²	56 m²	130 m²	Over 2Hrs	No	4.20 m³	6.03 m³	10.22 m³
U306	1 BEDROOM RESIDENTIAL UNIT		50 m²	8 m²	57 m²	Over 2Hrs	Yes	3.24 m³	9.44 m³	12.69 m³
U307	1 BEDROOM RESIDENTIAL UNIT		51 m²	8 m²	59 m²	None	Yes	3.25 m³	7.59 m³	10.84 m³
U308	1 BEDROOM RESIDENTIAL UNIT		50 m²	10 m²	60 m²	None	No	3.76 m³	4.62 m³	8.38 m³
U309	2 BEDROOM RESIDENTIAL UNIT		78 m²	10 m²	87 m²	None	Yes	4.56 m³	6.51 m³	11.08 m³
U310	2 BEDROOM RESIDENTIAL UNIT		75 m²	10 m²	86 m²	Over 2Hrs	Yes	4.27 m³	5.93 m³	10.20 m³
U311	1 BEDROOM RESIDENTIAL UNIT		52 m²	8 m²	60 m²	Over 2Hrs	No	5.68 m³	4.62 m³	10.30 m³
U312	1 BEDROOM RESIDENTIAL UNIT		54 m²	8 m²	62 m²	Over 2Hrs	No	5.68 m³	4.62 m³	10.30 m³
U313	2 BEDROOM RESIDENTIAL UNIT		83 m²	11 m²	94 m²	Over 2Hrs	Yes	10.19 m³	13.61 m³	23.80 m³
U314	3 BEDROOM RESIDENTIAL UNIT	ADAPT/LIV	103 m²	12 m²	115 m²	Over 2Hrs	Yes	6.57 m³	11.63 m³	18.20 m³
U315	3 BEDROOM RESIDENTIAL UNIT	LIVEABLE	102 m²	12 m²	114 m²	Under 2Hrs	No	6.12 m³	9.57 m³	15.69 m³
U316	1 BEDROOM RESIDENTIAL UNIT		57 m²	8 m²	66 m²	Under 2Hrs	Yes	5.23 m³	4.62 m³	9.85 m³
U317	1 BEDROOM RESIDENTIAL UNIT		54 m²	8 m²	62 m²	Over 2Hrs	No	4.67 m³	4.62 m³	9.29 m³
U318	2 BEDROOM RESIDENTIAL UNIT		92 m²	10 m²	102 m²	Over 2Hrs	Yes	4.26 m³	5.08 m³	9.34 m³
U319	2 BEDROOM RESIDENTIAL UNIT		75 m²	10 m²	84 m²	None	Yes	4.37 m³	4.57 m³	8.94 m³
U320	2 BEDROOM RESIDENTIAL UNIT		75 m²	10 m²	84 m²	Under 2Hrs	Yes	4.46 m³	6.79 m³	11.25 m³
U321	1 BEDROOM RESIDENTIAL UNIT		50 m²	8 m²	58 m²	Over 2Hrs	Yes	5.54 m³	4.62 m³	10.16 m³
U322	2 BEDROOM RESIDENTIAL UNIT		78 m²	10 m²	88 m²	Over 2Hrs	Yes	4.94 m³	5.19 m³	10.13 m³
U323	1 BEDROOM RESIDENTIAL UNIT	SDA/LIV	71 m²	9 m²	80 m²	Over 2Hrs	No	9.65 m³	8.36 m³	18.01 m³
U324	2 BEDROOM RESIDENTIAL UNIT		78 m²	10 m²	88 m²	Under 2Hrs	Yes	5.29 m³	6.20 m³	11.49 m³
U325	2 BEDROOM RESIDENTIAL UNIT		75 m²	10 m²	85 m²	Under 2Hrs	Yes	7.48 m³	5.19 m³	12.67 m³
U326	2 BEDROOM RESIDENTIAL UNIT		75 m²	12 m²	87 m²	None	No	4.21 m³	5.19 m³	9.40 m³
U327	2 BEDROOM RESIDENTIAL UNIT		85 m²	10 m²	95 m²	Over 2Hrs	Yes	5.77 m³	5.19 m³	10.96 m³
U328	1 BEDROOM RESIDENTIAL UNIT	SDA/LIV	66 m²	8 m²	75 m²	Over 2Hrs	No	7.02 m³	4.15 m³	11.17 m³

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Rev. Date Description

Project Architect



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Nominated Architect: Lijana Ermilova 7887, ABN 24 243 205 327



Project

PROPOSED MIXED USE DEVELOPMENT

691- 695 Victoria

Road, Ryde

Drawing Title

UNIT SCHEDULE 1

DA SUBMISSION

Job no. Drawing no. Rev.

J23589D DA 1003 A

Drawn by Checked by Approved by Date
SP RJ ZC SEP. 2023

REFERENCES

ANY VARIATIONS OR DEVIATIONS FROM APPROVED CONSTRUCTION DRAWINGS MUST BE REVIEWED AND APPROVED BY PCA OR NOMINATED CERTIFYING AUTHORITY.

DRAWINGS TO BE READ IN CONJUNCTION WITH BUT NOT LIMITED TO ALL STRUCTURAL ENGINEERS, STORMWATER ENGINEERS, LANDSCAPE ARCHITECTS, FIRE PROTECTION, ESSENTIAL ELECTRICAL SERVICES AND MECHANICAL SERVICES PLANS & OTHER ASSOCIATED PLANS & REPORTS

REFER TO CURRENT BASIX REPORT FOR ADDITIONAL REQUIREMENTS TO ONES NOTED ON PLANS

NOTES

ALL DIMENSIONS AND SETOUTS ARE TO BE VERIFIED ON SITE AND ALL OMISSIONS OR ANY DISCREPANCIES TO BE NOTIFIED TO THE ARCHITECT. FIGURED DIMENSIONS TO BE USED AT ALL TIME. **DO NOT SCALE** MEASUREMENTS OFF DRAWINGS.

UNIT SCHEDULE										
UNIT NUMBER	UNIT DESCRIPTION	ADAPT/LIV	UNIT AREA	BALCONY AREA	TOTAL AREA	SOLAR ACCESS	VENTILATION	UNIT STORAGE	BASEMENT STORAGE	TOTAL STORAGE
U401	2 BEDROOM RESIDENTIAL UNIT		80 m²	18 m²	98 m²	Over 2Hrs	Yes	6.94 m³	6.61 m³	13.55 m³
U402	1 BEDROOM RESIDENTIAL UNIT		53 m²	8 m²	61 m²	Over 2Hrs	No	6.89 m³	5.19 m³	12.08 m³
U403	2 BEDROOM RESIDENTIAL UNIT		76 m²	10 m²	86 m²	Over 2Hrs	Yes	4.72 m³	5.19 m³	9.91 m³
U404	2 BEDROOM RESIDENTIAL UNIT		86 m²	10 m²	96 m²	Over 2Hrs	Yes	5.21 m³	5.19 m³	10.40 m³
U405	2 BEDROOM RESIDENTIAL UNIT		75 m²	10 m²	84 m²	Over 2Hrs	No	4.20 m³	5.19 m³	9.39 m³
U406	2 BEDROOM RESIDENTIAL UNIT		77 m²	10 m²	87 m²	Over 2Hrs	Yes	4.28 m³	5.32 m³	9.60 m³
U407	1 BEDROOM RESIDENTIAL UNIT		51 m²	30 m²	80 m²	None	No	3.97 m³	4.15 m³	8.12 m³
U408	2 BEDROOM RESIDENTIAL UNIT		75 m²	13 m²	88 m²	Over 2Hrs	Yes	4.70 m³	4.85 m³	9.55 m³
U409	2 BEDROOM RESIDENTIAL UNIT		78 m²	19 m²	97 m²	Over 2Hrs	No	4.03 m³	4.79 m³	8.82 m³
U410	1 BEDROOM RESIDENTIAL UNIT		55 m²	8 m²	62 m²	Over 2Hrs	No	7.74 m³	5.61 m³	13.35 m³
U411	2 BEDROOM RESIDENTIAL UNIT		83 m²	11 m²	94 m²	Over 2Hrs	Yes	10.19 m³	6.17 m³	16.36 m³
U412	3 BEDROOM RESIDENTIAL UNIT	ADAPT/LIV	103 m²	12 m²	115 m²	Over 2Hrs	Yes	6.57 m³	6.08 m³	12.65 m³
U413	3 BEDROOM RESIDENTIAL UNIT	LIVEABLE	102 m²	12 m²	114 m²	Under 2Hrs	No	6.12 m³	7.05 m³	13.17 m³
U414	1 BEDROOM RESIDENTIAL UNIT		57 m²	8 m²	66 m²	Under 2Hrs	Yes	5.23 m³	5.87 m³	11.11 m³
U415	1 BEDROOM RESIDENTIAL UNIT		54 m²	8 m²	62 m²	Over 2Hrs	No	4.67 m³	5.87 m³	10.55 m³
U416	2 BEDROOM RESIDENTIAL UNIT		92 m²	10 m²	101 m²	Over 2Hrs	Yes	4.26 m³	6.71 m³	10.97 m³
U417	2 BEDROOM RESIDENTIAL UNIT		75 m²	10 m²	84 m²	None	Yes	4.37 m³	5.87 m³	10.24 m³
U418	2 BEDROOM RESIDENTIAL UNIT		75 m²	10 m²	84 m²	Under 2Hrs	Yes	4.46 m³	5.87 m³	10.33 m³
U419	1 BEDROOM RESIDENTIAL UNIT		50 m²	8 m²	58 m²	Over 2Hrs	Yes	5.54 m³	5.19 m³	10.73 m³
U420	2 BEDROOM RESIDENTIAL UNIT	SDA/LIV	78 m²	21 m²	99 m²	Over 2Hrs	Yes	4.04 m³	6.59 m³	10.63 m³
U421	1 BEDROOM RESIDENTIAL UNIT		50 m²	18 m²	67 m²	Over 2Hrs	No	4.52 m³	5.19 m³	9.71 m³
U422	1 BEDROOM RESIDENTIAL UNIT	LIVEABLE	50 m²	11 m²	61 m²	Over 2Hrs	No	3.89 m³	5.19 m³	9.08 m³
U423	2 BEDROOM RESIDENTIAL UNIT		75 m²	10 m²	84 m²	Under 2Hrs	Yes	6.46 m³	5.19 m³	11.65 m³
U424	2 BEDROOM RESIDENTIAL UNIT		75 m²	12 m²	87 m²	None	No	4.52 m³	5.19 m³	9.71 m³
U425	2 BEDROOM RESIDENTIAL UNIT		85 m²	20 m²	105 m²	Over 2Hrs	Yes	6.79 m³	5.19 m³	11.98 m³
U426	1 BEDROOM RESIDENTIAL UNIT	SDA/LIV	66 m²	8 m²	75 m²	Over 2Hrs	No	8.11 m³	5.19 m³	13.30 m³
U427	2 BEDROOM RESIDENTIAL UNIT		77 m²	20 m²	97 m²	Over 2Hrs	Yes	4.33 m³	5.19 m³	9.52 m³
U428	1 BEDROOM RESIDENTIAL UNIT	LIVEABLE	50 m²	8 m²	58 m²	Over 2Hrs	No	4.41 m³	6.08 m³	10.49 m³
U429	2 BEDROOM RESIDENTIAL UNIT		75 m²	10 m²	85 m²	Over 2Hrs	No	4.01 m³	4.15 m³	8.16 m³
U430	2 BEDROOM RESIDENTIAL UNIT		77 m²	10 m²	87 m²	Over 2Hrs	Yes	5.49 m³	4.15 m³	9.64 m³
U501	2 BEDROOM RESIDENTIAL UNIT		81 m²	14 m²	95 m²	Over 2Hrs	Yes	6.94 m³	6.22 m³	13.15 m³
U502	1 BEDROOM RESIDENTIAL UNIT		53 m²	8 m²	61 m²	Over 2Hrs	No	6.89 m³	8.20 m³	15.09 m³
U503	2 BEDROOM RESIDENTIAL UNIT		76 m²	10 m²	86 m²	Over 2Hrs	Yes	4.72 m³	7.05 m³	11.77 m³
U504	2 BEDROOM RESIDENTIAL UNIT		86 m²	10 m²	96 m²	Over 2Hrs	Yes	5.21 m³	7.30 m³	12.51 m³
U505	2 BEDROOM RESIDENTIAL UNIT		75 m²	10 m²	84 m²	Over 2Hrs	No	4.20 m³	7.37 m³	11.57 m³
U506	2 BEDROOM RESIDENTIAL UNIT		77 m²	10 m²	87 m²	Over 2Hrs	Yes	4.28 m³	8.47 m³	12.74 m³
U507	1 BEDROOM RESIDENTIAL UNIT		51 m²	8 m²	59 m²	None	No	3.97 m³	7.42 m³	11.38 m³
U508	2 BEDROOM RESIDENTIAL UNIT		75 m²	10 m²	85 m²	Over 2Hrs	Yes	4.70 m³	4.54 m³	9.23 m³
U509	2 BEDROOM RESIDENTIAL UNIT		78 m²	12 m²	90 m²	Over 2Hrs	No	4.03 m³	4.77 m³	8.80 m³
U510	1 BEDROOM RESIDENTIAL UNIT		55 m²	8 m²	62 m²	Over 2Hrs	No	3.49 m³	4.77 m³	8.26 m³
U511	2 BEDROOM RESIDENTIAL UNIT		83 m²	11 m²	93 m²	Over 2Hrs	Yes	10.19 m³	4.77 m³	14.97 m³
U512	3 BEDROOM RESIDENTIAL UNIT		103 m²	12 m²	115 m²	Over 2Hrs	Yes	6.57 m³	10.31 m³	16.88 m³
U513	3 BEDROOM RESIDENTIAL UNIT	LIVEABLE	102 m²	12 m²	114 m²	Under 2Hrs	No	6.12 m³	10.31 m³	16.43 m³
U514	1 BEDROOM RESIDENTIAL UNIT		57 m²	8 m²	66 m²	Under 2Hrs	Yes	5.23 m³	4.77 m³	10.01 m³
U515	1 BEDROOM RESIDENTIAL UNIT		54 m²	8 m²	62 m²	Over 2Hrs	No	4.67 m³	4.77 m³	9.45 m³
U516	2 BEDROOM RESIDENTIAL UNIT		92 m²	10 m²	102 m²	Over 2Hrs	Yes	4.26 m³	4.35 m³	8.61 m³
U517	2 BEDROOM RESIDENTIAL UNIT		75 m²	10 m²	84 m²	None	Yes	4.37 m³	4.56 m³	8.93 m³
U518	2 BEDROOM RESIDENTIAL UNIT		75 m²	10 m²	84 m²	Under 2Hrs	Yes	4.46 m³	4.77 m³	9.23 m³
U519	1 BEDROOM RESIDENTIAL UNIT		50 m²	8 m²	58 m²	Over 2Hrs	Yes	5.54 m³	4.77 m³	10.31 m³
U520	2 BEDROOM RESIDENTIAL UNIT	SDA/LIV	76 m²	10 m²	85 m²	Over 2Hrs	Yes	4.04 m³	4.77 m³	8.82 m³
U521	1 BEDROOM RESIDENTIAL UNIT		50 m²	8 m²	57 m²	Over 2Hrs	No	4.52 m³	4.77 m³	9.30 m³
U522	1 BEDROOM RESIDENTIAL UNIT	LIVEABLE	50 m²	8 m²	57 m²	Over 2Hrs	No	5.28 m³	4.42 m³	9.71 m³
U523	2 BEDROOM RESIDENTIAL UNIT		75 m²	10 m²	84 m²	Under 2Hrs	Yes	7.48 m³	4.42 m³	11.90 m³
U524	2 BEDROOM RESIDENTIAL UNIT		75 m²	12 m²	87 m²	None	No	4.21 m³	4.47 m³	8.69 m³
U525	2 BEDROOM RESIDENTIAL UNIT		85 m²	10 m²	95 m²	Over 2Hrs	Yes	5.77 m³	4.42 m³	10.19 m³
U526	1 BEDROOM RESIDENTIAL UNIT	SDA/LIV	66 m²	8 m²	75 m²	Over 2Hrs	No	7.02 m³	4.42 m³	11.44 m³
U527	2 BEDROOM RESIDENTIAL UNIT		77 m²	10 m²	87 m²	Over 2Hrs	Yes	4.33 m³	4.47 m³	8.80 m³
U528	1 BEDROOM RESIDENTIAL UNIT	LIVEABLE	50 m²	8 m²	57 m²	Over 2Hrs	No	4.41 m³	6.17 m³	10.58 m³
U529	2 BEDROOM RESIDENTIAL UNIT		75 m²	10 m²	85 m²	Over 2Hrs	No	4.01 m³	4.79 m³	8.80 m³
U530	2 BEDROOM RESIDENTIAL UNIT		77 m²	10 m²	87 m²	Over 2Hrs	Yes	5.49 m³	4.05 m³	9.54 m³
U601	2 BEDROOM RESIDENTIAL UNIT		81 m²	14 m²	95 m²	Over 2Hrs	Yes	6.94 m³	15.58 m³	22.52 m³
U602	1 BEDROOM RESIDENTIAL UNIT		53 m²	8 m²	61 m²	Over 2Hrs	No	6.89 m³	5.04 m³	11.93 m³
U603	2 BEDROOM RESIDENTIAL UNIT		76 m²	10 m²	86 m²	Over 2Hrs	Yes	4.72 m³	4.96 m³	9.68 m³
U604	2 BEDROOM RESIDENTIAL UNIT		86 m²	10 m²	96 m²	Over 2Hrs	Yes	5.21 m³	5.04 m³	10.25 m³
U605	2 BEDROOM RESIDENTIAL UNIT		75 m²	10 m²	84 m²	Over 2Hrs	No	4.20 m³	8.01 m³	12.21 m³
U606	2 BEDROOM RESIDENTIAL UNIT		77 m²	10 m²	87 m²	Over 2Hrs	Yes	4.28 m³	4.48 m³	8.76 m³
U607	1 BEDROOM RESIDENTIAL UNIT		51 m²	8 m²	59 m²	Under 2Hrs	Yes	3.97 m³	4.48 m³	8.45 m³
U608	2 BEDROOM RESIDENTIAL UNIT		75 m²	10 m²	85 m²	Over 2Hrs	Yes	4.70 m³	4.48 m³	9.18 m³
U609	2 BEDROOM RESIDENTIAL UNIT		78 m²	12 m²	90 m²	Over 2Hrs	No	4.03 m³	5.61 m³	9.64 m³
U610	1 BEDROOM RESIDENTIAL UNIT		55 m²	8 m²	62 m²	Over 2Hrs	No	5.61 m³	3.56 m³	9.17 m³
U611	2 BEDROOM RESIDENTIAL UNIT		83 m²	11 m²	94 m²	Over 2Hrs	Yes	10.19 m³	5.87 m³	16.07 m³
U612	3 BEDROOM RESIDENTIAL UNIT		103 m²	12 m²	115 m²	Over 2Hrs	Yes	6.57 m³	10.31 m³	16.88 m³
U613	3 BEDROOM RESIDENTIAL UNIT	LIVEABLE	102 m²	12 m²	114 m²	Under 2Hrs	No	6.12 m³	10.31 m³	16.43 m³
U614	1 BEDROOM RESIDENTIAL UNIT		57 m²	8 m²	66 m²	Over 2Hrs	Yes	5.23 m³	4.40 m³	9.63 m³
U615	1 BEDROOM RESIDENTIAL UNIT		54 m²	8 m²	62 m²	Over 2Hrs	No	4.67 m³	4.23 m³	8.90 m³
U616	2 BEDROOM RESIDENTIAL UNIT		92 m²	10 m²	101 m²	Over 2Hrs	Yes	4.26 m³	4.39 m³	8.65 m³
U617	2 BEDROOM RESIDENTIAL UNIT		75 m²	10 m²	84 m²	None	Yes	4.37 m³	4.06 m³	8.43 m³
U618	2 BEDROOM RESIDENTIAL UNIT		75 m²	10 m²	84 m²	Under 2Hrs	Yes	4.46 m³	4.06 m³	8.52 m³

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Nominated Architect: Lijana Ermilova 7887, ABN 24 243 205 327



Project

PROPOSED MIXED USE DEVELOPMENT

691- 695 Victoria
Road, Ryde

Drawing Title

UNIT SCHEDULE 2

DA SUBMISSION

Job no. Drawing no. Rev.

J23589D DA 1004 A

Drawn by Checked by Approved by Date
SP RJ ZC SEP. 2023

UNIT SCHEDULE										
UNIT NUMBER	UNIT DESCRIPTION	ADAPT/LIV	UNIT AREA	BALCONY AREA	TOTAL AREA	SOLAR ACCESS	VENTILATION	UNIT STORAGE	BASEMENT STORAGE	TOTAL STORAGE
U619	1 BEDROOM RESIDENTIAL UNIT		50 m²	8 m²	58 m²	Over 2Hrs	Yes	5.54 m³	4.06 m³	9.60 m³
U620	2 BEDROOM RESIDENTIAL UNIT	SDA/LIV	75 m²	26 m²	101 m²	Over 2Hrs	Yes	4.06 m³	4.79 m³	8.85 m³
U621	2 BEDROOM RESIDENTIAL UNIT		75 m²	10 m²	85 m²	Over 2Hrs	No	4.50 m³	4.18 m³	8.68 m³
U622	2 BEDROOM RESIDENTIAL UNIT		75 m²	10 m²	85 m²	Under 2Hrs	Yes	6.87 m³	7.28 m³	14.14 m³
U623	2 BEDROOM RESIDENTIAL UNIT		75 m²	11 m²	86 m²	None	No	6.51 m³	4.96 m³	11.47 m³
U624	1 BEDROOM RESIDENTIAL UNIT	LIVEABLE	51 m²	8 m²	59 m²	None	No	3.83 m³	5.58 m³	9.40 m³
U625	2 BEDROOM RESIDENTIAL UNIT	SDA/LIV	78 m²	25 m²	103 m²	Over 2Hrs	No	4.03 m³	5.58 m³	9.61 m³
U626	2 BEDROOM RESIDENTIAL UNIT		78 m²	10 m²	87 m²	Over 2Hrs	Yes	7.32 m³	5.33 m³	12.65 m³
U627	1 BEDROOM RESIDENTIAL UNIT	LIVEABLE	50 m²	8 m²	57 m²	Over 2Hrs	No	4.41 m³	3.92 m³	8.33 m³
U628	2 BEDROOM RESIDENTIAL UNIT		75 m²	10 m²	85 m²	Over 2Hrs	No	4.01 m³	5.87 m³	9.88 m³
U629	2 BEDROOM RESIDENTIAL UNIT		77 m²	10 m²	87 m²	Over 2Hrs	Yes	5.49 m³	5.87 m³	11.37 m³
U701	2 BEDROOM RESIDENTIAL UNIT		78 m²	29 m²	107 m²	Over 2Hrs	Yes	5.79 m³	5.87 m³	11.66 m³
U702	3 BEDROOM RESIDENTIAL UNIT		95 m²	20 m²	115 m²	Over 2Hrs	Yes	15.78 m³	10.31 m³	26.10 m³
U703	2 BEDROOM RESIDENTIAL UNIT		75 m²	10 m²	84 m²	Over 2Hrs	Yes	4.30 m³	6.17 m³	10.47 m³
U704	2 BEDROOM RESIDENTIAL UNIT		79 m²	10 m²	89 m²	Over 2Hrs	Yes	4.33 m³	6.71 m³	11.04 m³
U705	1 BEDROOM RESIDENTIAL UNIT		51 m²	8 m²	59 m²	Over 2Hrs	Yes	4.67 m³	4.79 m³	9.46 m³
U706	2 BEDROOM RESIDENTIAL UNIT		92 m²	10 m²	102 m²	Over 2Hrs	Yes	4.26 m³	4.62 m³	8.88 m³
U707	2 BEDROOM RESIDENTIAL UNIT		75 m²	10 m²	84 m²	Over 2Hrs	Yes	4.37 m³	4.62 m³	8.99 m³
U708	2 BEDROOM RESIDENTIAL UNIT		75 m²	10 m²	84 m²	Over 2Hrs	Yes	4.46 m³	4.62 m³	9.08 m³
U709	1 BEDROOM RESIDENTIAL UNIT		50 m²	8 m²	58 m²	Over 2Hrs	Yes	5.54 m³	3.64 m³	9.18 m³
U710	2 BEDROOM RESIDENTIAL UNIT	SDA/LIV	75 m²	10 m²	85 m²	Over 2Hrs	Yes	4.06 m³	4.62 m³	8.68 m³
U711	2 BEDROOM RESIDENTIAL UNIT		75 m²	10 m²	85 m²	Over 2Hrs	No	4.50 m³	4.62 m³	9.12 m³
U712	2 BEDROOM RESIDENTIAL UNIT		75 m²	10 m²	85 m²	Over 2Hrs	Yes	5.69 m³	4.62 m³	10.31 m³
U713	2 BEDROOM RESIDENTIAL UNIT		75 m²	11 m²	86 m²	None	No	4.35 m³	6.20 m³	10.55 m³
U714	1 BEDROOM RESIDENTIAL UNIT	LIVEABLE	51 m²	8 m²	59 m²	None	No	5.00 m³	8.19 m³	13.19 m³
U715	2 BEDROOM RESIDENTIAL UNIT		75 m²	10 m²	85 m²	Over 2Hrs	No	4.00 m³	4.87 m³	8.87 m³
U716	1 BEDROOM RESIDENTIAL UNIT		51 m²	14 m²	65 m²	Over 2Hrs	Yes	4.00 m³	4.79 m³	8.79 m³
U717	1 BEDROOM RESIDENTIAL UNIT		55 m²	26 m²	81 m²	Over 2Hrs	No	4.63 m³	4.87 m³	9.50 m³
U718	2 BEDROOM RESIDENTIAL UNIT		75 m²	42 m²	117 m²	Over 2Hrs	Yes	4.06 m³	8.02 m³	12.08 m³
U801	1 BEDROOM RESIDENTIAL UNIT		50 m²	19 m²	68 m²	Over 2Hrs	Yes	4.30 m³	7.59 m³	11.89 m³
U802	2 BEDROOM RESIDENTIAL UNIT		75 m²	11 m²	85 m²	Over 2Hrs	Yes	7.49 m³	8.40 m³	15.89 m³
U803	2 BEDROOM RESIDENTIAL UNIT		76 m²	10 m²	86 m²	Over 2Hrs	Yes	4.43 m³	7.90 m³	12.32 m³
U804	2 BEDROOM RESIDENTIAL UNIT		76 m²	26 m²	102 m²	Over 2Hrs	Yes	7.53 m³	5.30 m³	12.83 m³
U805	1 BEDROOM RESIDENTIAL UNIT		51 m²	8 m²	59 m²	Over 2Hrs	Yes	4.00 m³	5.20 m³	9.19 m³
U806	1 BEDROOM RESIDENTIAL UNIT		55 m²	8 m²	62 m²	Over 2Hrs	No	4.63 m³	6.98 m³	11.61 m³
U807	2 BEDROOM RESIDENTIAL UNIT		75 m²	14 m²	89 m²	Over 2Hrs	Yes	4.06 m³	6.98 m³	11.05 m³
U901	2 BEDROOM RESIDENTIAL UNIT		84 m²	21 m²	105 m²	Over 2Hrs	Yes	5.56 m³	8.89 m³	14.46 m³
U902	2 BEDROOM RESIDENTIAL UNIT		75 m²	14 m²	175 m²	Over 2Hrs	Yes	4.06 m³	6.04 m³	10.10 m³

REFERENCES

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Rev.	Date	Description

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Project

PROPOSED MIXED USE DEVELOPMENT

691- 695 Victoria
Road, Ryde

Drawing Title

UNIT SCHEDULE 3

DA SUBMISSION				
Job no.	Drawing no.	Rev.		
J23589D	DA 1005	A		
Drawn by	Checked by	Approved by	Date	
SP	RJ	ZC	SEP. 2023	

1 SITE PLAN

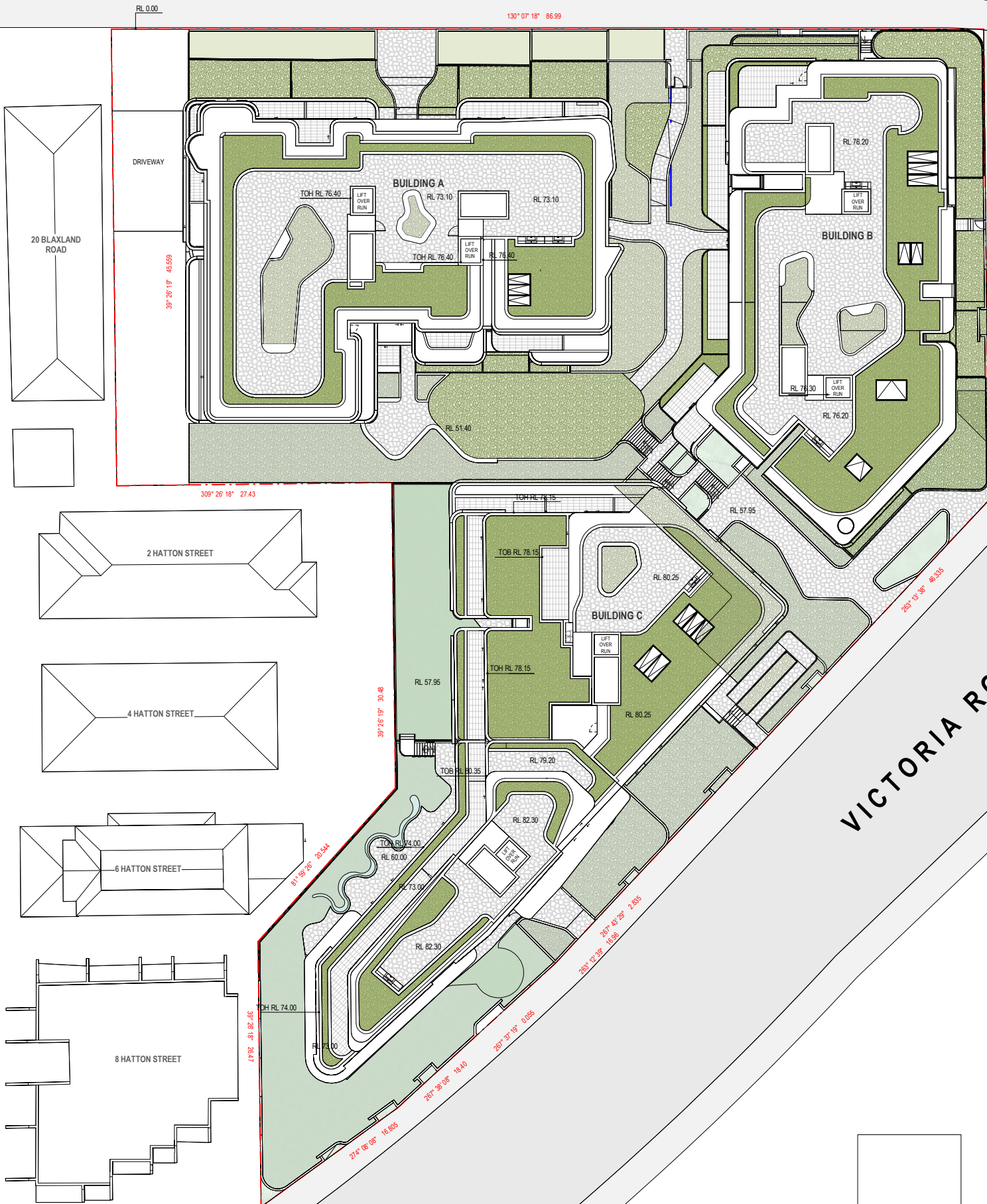
1 : 250 at A1 1:500 at A3

BLAXLAND ROAD

PRINCES STREET

VICTORIA ROAD

HATTON STREET



REFERENCES

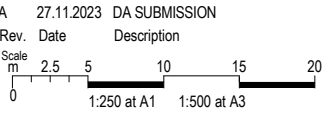
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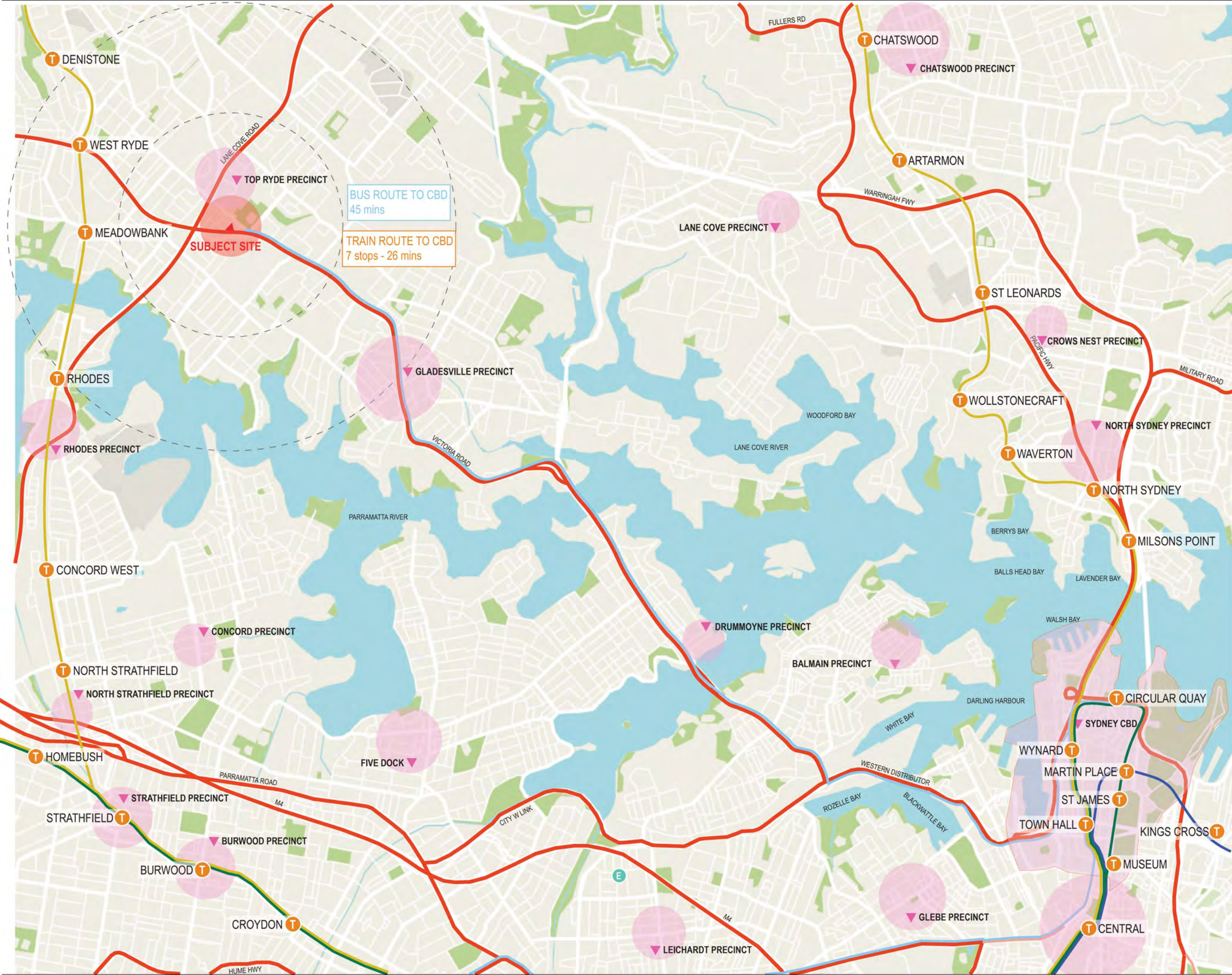
Project
PROPOSED MIXED USE DEVELOPMENT

691- 695 Victoria Road, Ryde
Drawing Title

SITE PLAN

DA SUBMISSION

Job no.	Drawing no.	Rev.
J23589D	DA 1006	A
Drawn by SP	Checked by RJ	Approved by ZC
Date SEP. 2023		



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- LEGEND**
- SUBJECT SITE
 - TRAIN STATION
 - T1 NORTH SHORE, NORTHERN & WESTERN TRAIN LINE
 - T2 INNER WEST & LEPPINGTON TRAIN LINE
 - T4 EASTERN SUBURBS & ILLAWARRA TRAIN LINE
 - BUS ROUTE
 - ARTERIAL ROADS
 - PARKS / GREEN SPACES
 - WATERWAYS
 - PRECINCTS / LOCAL CENTRES
 - 1km RADIUS

A	27.11.2023	DA SUBMISSION
Rev.	Date	Description
Scale	0 1 2 4 6 8	
m	1:100 at A1	1:200 at A3

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Project
PROPOSED MIXED USE DEVELOPMENT

691- 695 Victoria Road, Ryde

Drawing Title

SITE ANALYSIS - TRANSPORT, AMENITY & NETWORK ANALYSIS			
DA SUBMISSION			
Job no.	Drawing no.	Rev.	
J23589D	DA 1011	A	
Drawn by	Checked by	Approved by	Date
SP	RJ	ZC	SEP. 2023



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- LEGEND**
- WIND PATHS
 - SOLAR PATHS
 - VEHICULAR NOISE
 - GREEN SPACE
 - 400m WALKING DISTANCE FROM TRAIN STATION
 - VIEW CORRIDORS

A	27.11.2023	DA SUBMISSION
Rev.	Date	Description
Scale	0 1 2 4 6 8	
m	1:100 at A1	1:200 at A3

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Project
PROPOSED MIXED USE DEVELOPMENT

691- 695 Victoria Road, Ryde

Drawing Title

SITE ANALYSIS - PLAN			
DA SUBMISSION			
Job no.	Drawing no.	Rev.	
J23589D	DA 1012	A	
Drawn by	Checked by	Approved by	Date
SP	RJ	ZC	SEP. 2023

VIEWS ALONG VICTORIA ROAD NORTH



VIEWS ALONG VICTORIA ROAD SOUTH



691-695 VICTORIA ROAD RYDE



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Rev.	Date	Description
Scale	0	1 2 4 6 8
m		1:100 at A1 1:200 at A3

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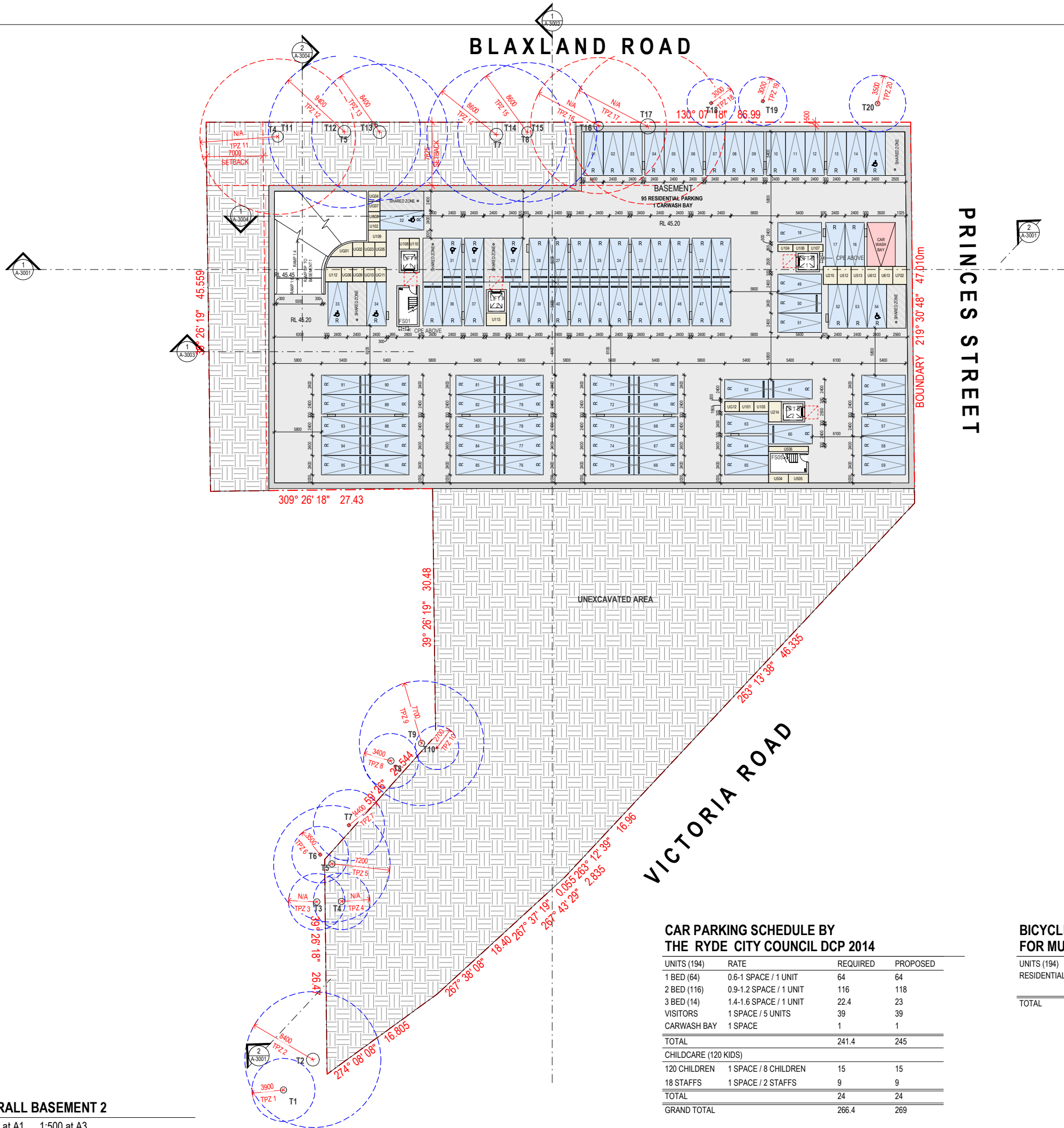
691- 695 Victoria Road, Ryde
 Drawing Title

SITE ANALYSIS - BUILT FORM

DA SUBMISSION			
Job no.	Drawing no.	Rev.	
J23589D	DA 1013	A	
Drawn by	Checked by	Approved by	Date
SP	RJ	ZC	SEP. 2023

1 OVERALL BASEMENT 2

1 : 250 at A1 1 : 500 at A3



PARKING COUNT	
PARKING SPOT DESCRIPTION	TOTAL
CAR WASH BAY	1
CHILDCARE PARKING	24
RESIDENTIAL PARKING	244
GRAND TOTAL	269

PARKING LEGEND

- BICYCLE
- CAR WASH BAY
- CHILDCARE
- RESIDENTIAL
- VISITOR

TREE LEGEND

- TPZ - TREES TO BE RETAINED
- TPZ - TREES TO BE REMOVED

REFERENCES

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Scale	0	2.5 5 10 15 20
m	1:250 at A1	1:500 at A3

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Project
PROPOSED MIXED USE DEVELOPMENT

691- 695 Victoria
Road, Ryde

Drawing Title

BASEMENT LEVEL 2 FLOOR PLAN

DA SUBMISSION

Job no. Drawing no. Rev.

J23589D DA 1101 A

Drawn by Checked by Approved by Date
SP RJ ZC SEP. 2023

CAR PARKING SCHEDULE BY
THE RYDE CITY COUNCIL DCP 2014

UNITS (194)	RATE	REQUIRED	PROPOSED
1 BED (64)	0.6-1 SPACE / 1 UNIT	64	64
2 BED (116)	0.9-1.2 SPACE / 1 UNIT	116	118
3 BED (14)	1.4-1.6 SPACE / 1 UNIT	22.4	23
VISITORS	1 SPACE / 5 UNITS	39	39
CARWASH BAY	1 SPACE	1	1
TOTAL		241.4	245
CHILDCARE (120 KIDS)			
120 CHILDREN	1 SPACE / 8 CHILDREN	15	15
18 STAFFS	1 SPACE / 2 STAFFS	9	9
TOTAL		24	24
GRAND TOTAL		266.4	269

BICYCLE SCHEDULE
FOR MU1 ZONE THE RYDE CITY COUNCIL

UNITS (194)	RATE	REQUIRED	PROPOSED
RESIDENTIAL	10% OF REQUIRED CAR SPACES	26.9	27
TOTAL		26.9	27

1 OVERALL BASEMENT 1

1 : 250 at A1 1 : 500 at A3



PARKING COUNT	
PARKING SPOT DESCRIPTION	TOTAL
CAR WASH BAY	1
CHILDCARE PARKING	24
RESIDENTIAL PARKING	244
GRAND TOTAL	269

PARKING LEGEND

- BICYCLE
- CAR WASH BAY
- CHILDCARE
- RESIDENTIAL
- VISITOR

TREE LEGEND

- TPZ - TREES TO BE RETAINED
- TPZ - TREES TO BE REMOVED

WASTE CALCULATION

	RATE OF WASTE	TOTAL WASTE	BIN SIZE	NO. OF BINS COMPLIANCE REQUIRED	NO. OF BINS PROPOSED
RESIDENTIAL (194 UNITS)					
WASTE	120L/UNIT/WEEK	23,280L	1100L	21.16	8 BINS/ 3 TIMES A WEEK
RECYCLE	120L/UNIT/WEEK	23,280L	1100L	21.16	8 BINS/ 3 TIMES A WEEK
GREEN	120L/UNIT/DAY	N/A	240L	5	5 BINS/ ONCE EVERY TWO WEEKS
PROPOSED TOTAL					16 X 1100L BINS 5 X 240L BINS
CHILDCARE (120 KIDS)					
WASTE	5L/CHILD/DAY	3000L	240L	12.5	7 BINS/ 2 TIMES A WEEK
RECYCLE	5L/CHILD/DAY	3000L	240L	12.5	7 BINS/ 2 TIMES A WEEK
PROPOSED TOTAL					14 X 240L BINS

- GENERAL WASTE BIN
- RECYCLE BIN
- GREEN WASTE BIN

CAR PARKING SCHEDULE BY THE RYDE CITY COUNCIL DCP 2014

UNITS (194)	RATE	REQUIRED	PROPOSED
1 BED (64)	0.6-1 SPACE / 1 UNIT	64	64
2 BED (116)	0.9-1.2 SPACE / 1 UNIT	116	118
3 BED (14)	1.4-1.6 SPACE / 1 UNIT	22.4	23
VISITORS	1 SPACE / 5 UNITS	39	39
CARWASH BAY	1 SPACE	1	1
TOTAL		241.4	245
CHILDCARE (120 KIDS)			
120 CHILDREN	1 SPACE / 8 CHILDREN	15	15
18 STAFFS	1 SPACE / 2 STAFFS	9	9
TOTAL		24	24
GRAND TOTAL		266.4	269

BICYCLE SCHEDULE FOR MU1 ZONE THE RYDE CITY COUNCIL

UNITS (194)	RATE	REQUIRED	PROPOSED
RESIDENTIAL	10% OF REQUIRED CAR SPACES	26.9	27
TOTAL		26.9	27

REFERENCES

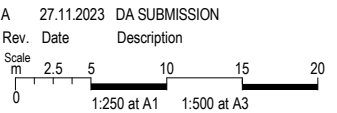
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Project
PROPOSED MIXED USE DEVELOPMENT

691- 695 Victoria
Road, Ryde

Drawing Title

BASEMENT LEVEL 1 FLOOR PLAN

DA SUBMISSION

Job no. Drawing no. Rev.

J23589D DA 1102 A

Drawn by SP Checked by RJ Approved by ZC Date SEP. 2023

1 OVERALL GROUND FLOOR PLAN

1: 250 at A1 1:500 at A3



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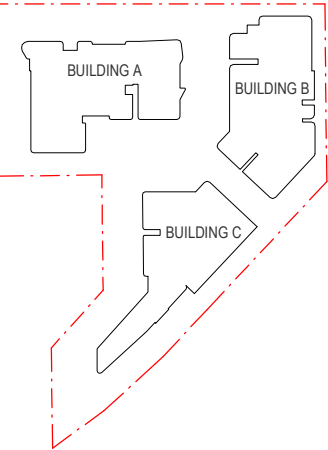
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PARKING LEGEND

- BICYCLE
- CAR WASH BAY
- CHILDCARE
- RESIDENTIAL
- VISITOR



TREE LEGEND

- TPZ - TREES TO BE RETAINED
- TPZ - TREES TO BE REMOVED

A 27.11.2023 DA SUBMISSION

Rev.	Date	Description
1	27.11.2023	DA SUBMISSION

Scale 0 2.5 5 10 15 20
1:250 at A1 1:500 at A3

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Project
PROPOSED MIXED USE DEVELOPMENT

691-695 Victoria
Road, Ryde

Drawing Title

OVERALL GROUND FLOOR PLAN

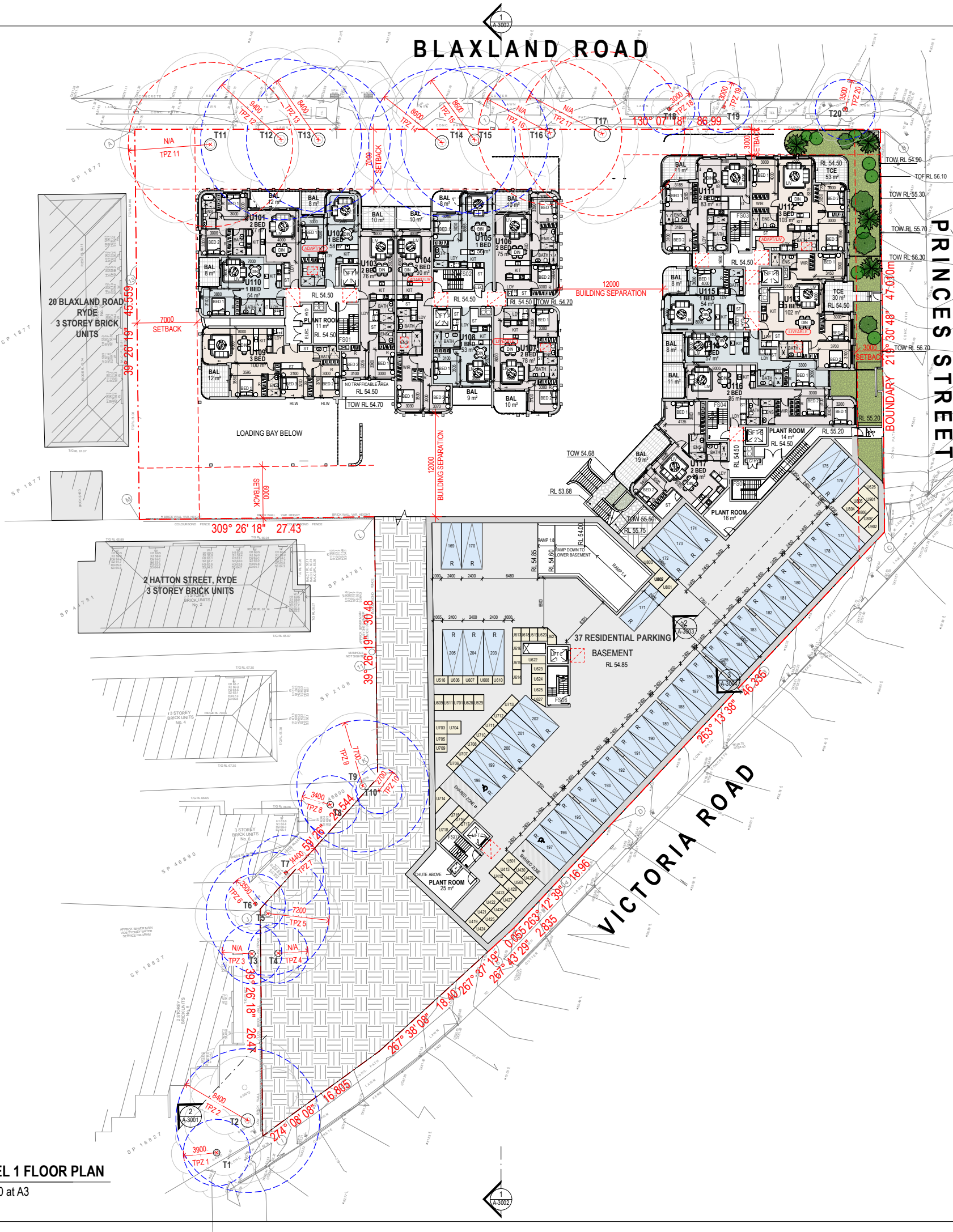
DA SUBMISSION

Job no.	Drawing no.	Rev.
J23589D	DA 1103	A
Drawn by SP	Checked by RJ	Approved by ZC
Date SEP. 2023		

BLAXLAND ROAD

PRINCES STREET

VICTORIA ROAD



REFERENCES

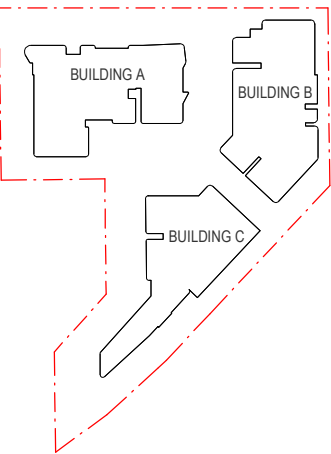
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TREE LEGEND

- TPZ - TREES TO BE RETAINED
- TPZ - TREES TO BE REMOVED

Rev.	Date	Description
A	27.11.2023	DA SUBMISSION

Scale
m 2.5 5 10 15 20
0 1:250 at A1 1:500 at A3

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Project
PROPOSED MIXED USE DEVELOPMENT

691- 695 Victoria
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Drawing Title

OVERALL LEVEL 1 FLOOR PLAN

DA SUBMISSION

Job no.	Drawing no.	Rev.
J23589D	DA 1104	A
Drawn by SP	Checked by RJ	Approved by ZC
Date SEP. 2023		

1 OVERALL LEVEL 1 FLOOR PLAN

1 : 250 at A1 1:500 at A3

BLAXLAND ROAD

PRINCES STREET

VICTORIA ROAD



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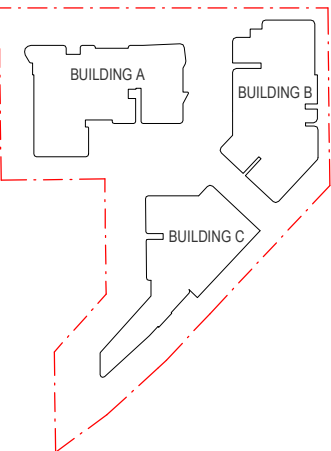
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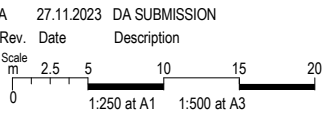
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TREE LEGEND

- TPZ - TREES TO BE RETAINED
- TPZ - TREES TO BE REMOVED



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Project
PROPOSED MIXED USE DEVELOPMENT

691- 695 Victoria
Road, Ryde
Drawing Title

OVERALL LEVEL 2 FLOOR PLAN

DA SUBMISSION

Job no.	Drawing no.	Rev.
J23589D	DA 1105	A
Drawn by SP	Checked by RJ	Approved by ZC
		Date SEP. 2023

1 OVERALL LEVEL 2 FLOOR PLAN

1 : 250 at A1 1 : 500 at A3

BLAXLAND ROAD

PRINCES STREET

VICTORIA ROAD



REFERENCES

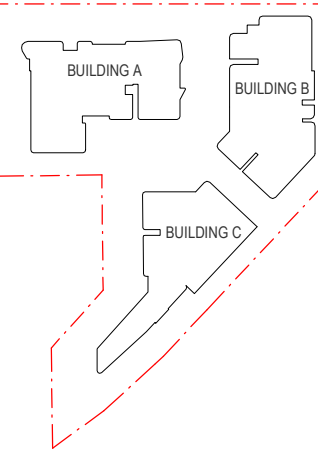
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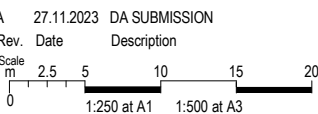
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Project
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691- 695 Victoria Road, Ryde

Drawing Title

OVERALL LEVEL 3 FLOOR PLAN

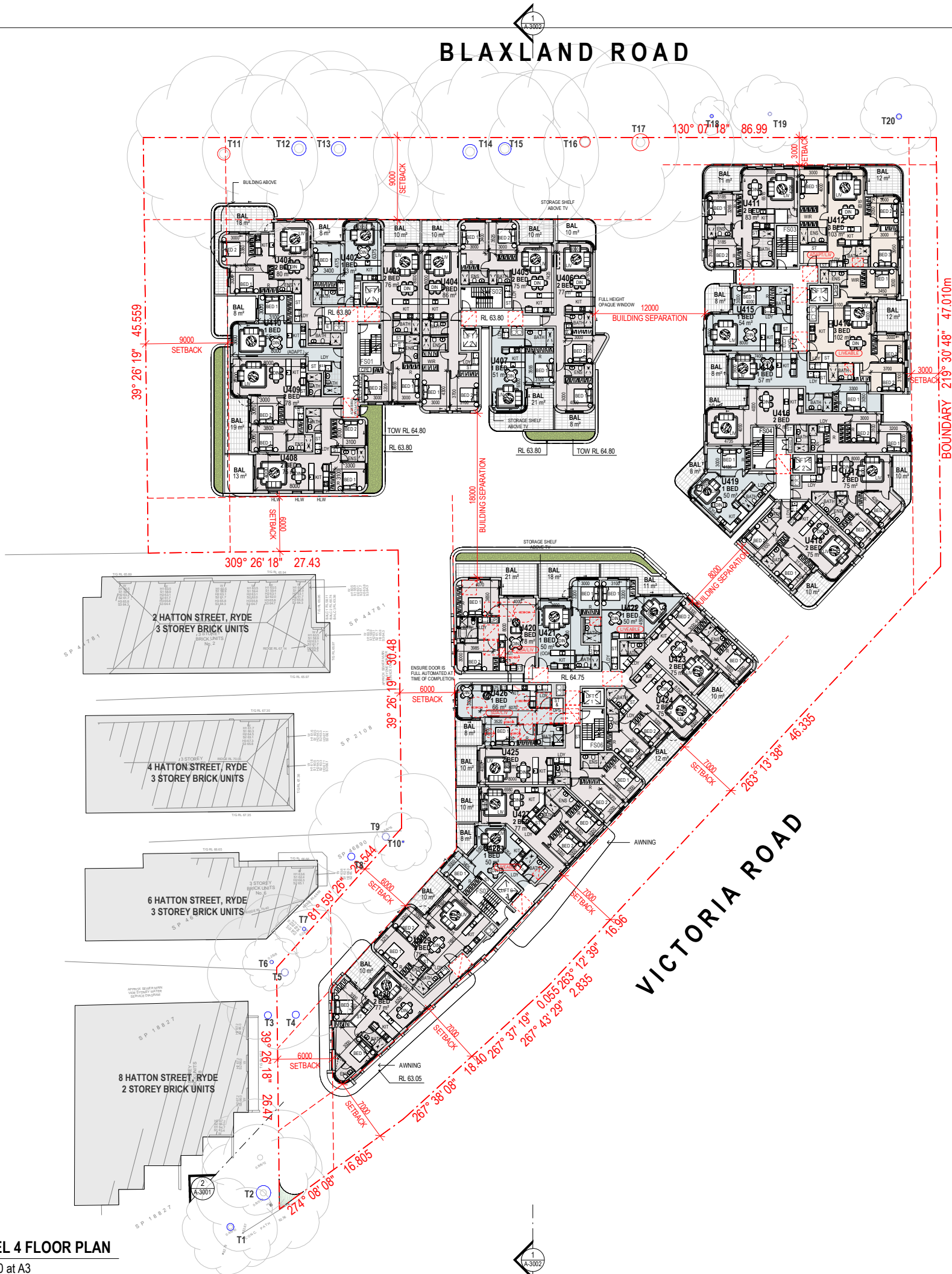
DA SUBMISSION			
Job no.	Drawing no.	Rev.	
J23589D	DA 1106	A	
Drawn by	Checked by	Approved by	Date
SP	RJ	ZC	SEP. 2023

1 OVERALL LEVEL 3 FLOOR PLAN
1 : 250 at A1 1 : 500 at A3

BLAXLAND ROAD

PRINCES STREET

VICTORIA ROAD



REFERENCES

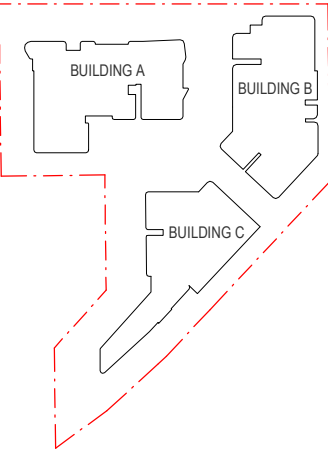
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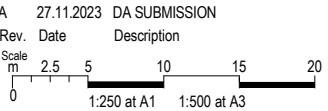
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Project
PROPOSED MIXED USE DEVELOPMENT

691- 695 Victoria
Road, Ryde

Drawing Title

OVERALL LEVEL 4 FLOOR PLAN

DA SUBMISSION

Job no.	Drawing no.	Rev.
J23589D	DA 1107	A
Drawn by SP	Checked by RJ	Approved by ZC
		Date SEP. 2023

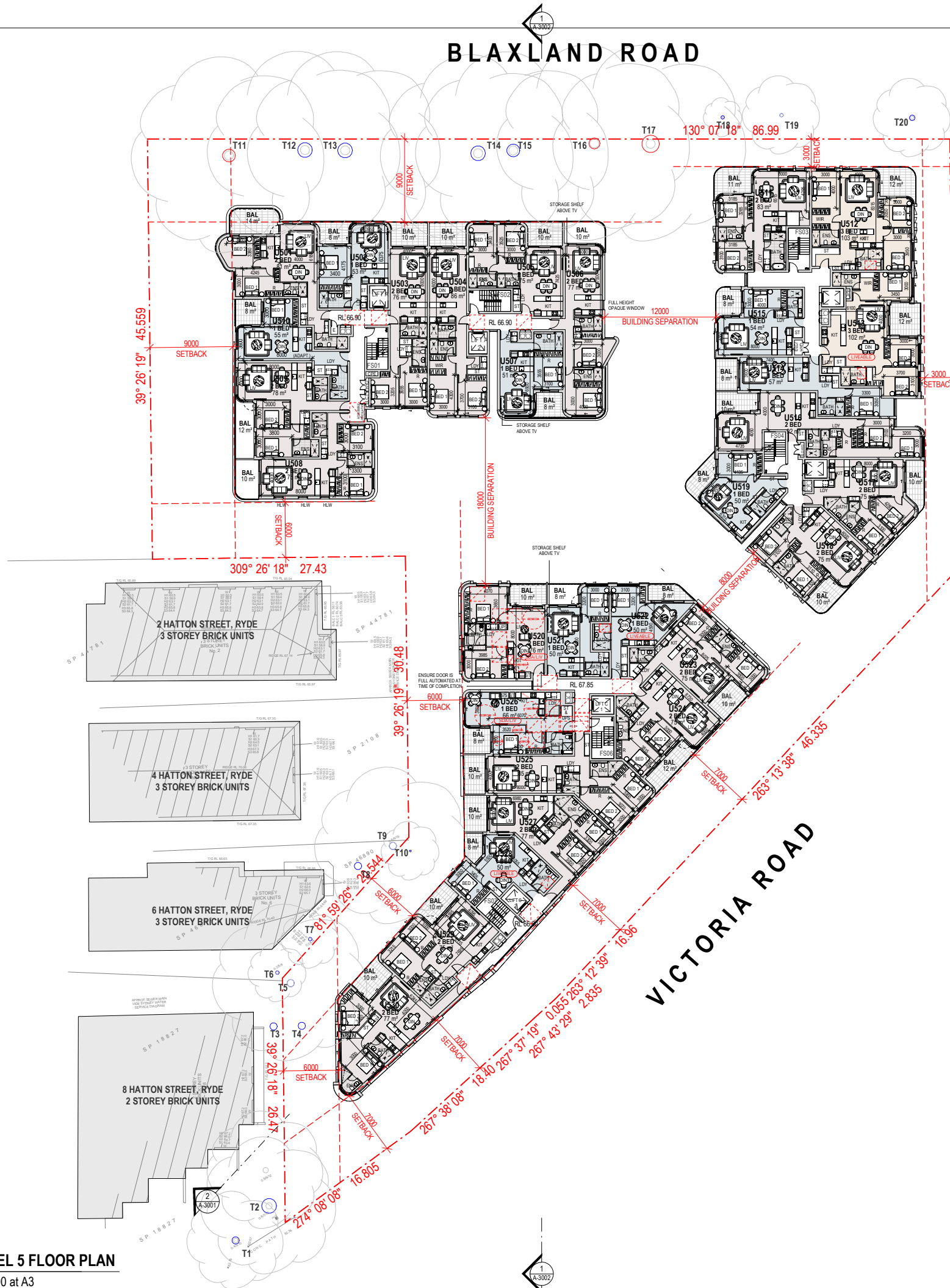
1 OVERALL LEVEL 4 FLOOR PLAN

1 : 250 at A1 1:500 at A3

BLAXLAND ROAD

PRINCES STREET

VICTORIA ROAD



REFERENCES

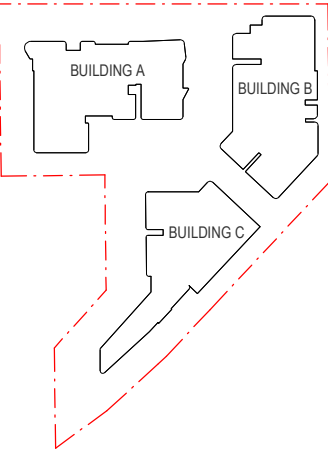
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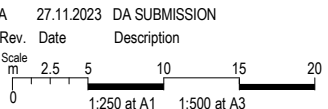
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Drawing Title

OVERALL LEVEL 5 FLOOR PLAN

DA SUBMISSION

Job no.	Drawing no.	Rev.
J23589D	DA 1108	A
Drawn by SP	Checked by RJ	Approved by ZC
		Date SEP. 2023

1 OVERALL LEVEL 5 FLOOR PLAN

1 : 250 at A1 1:500 at A3

BLAXLAND ROAD

PRINCES STREET

VICTORIA ROAD

REFERENCES

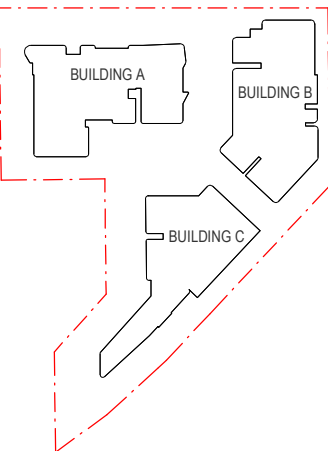
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m	1:250 at A1	1:500 at A3

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691- 695 Victoria
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Drawing Title

OVERALL LEVEL 6 FLOOR PLAN

DA SUBMISSION

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J23589D	DA 1109	A
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SP	RJ	ZC
Date		
		SEP. 2023

1 OVERALL LEVEL 6 FLOOR PLAN

1 : 250 at A1 1:500 at A3

BLAXLAND ROAD

PRINCES STREET

VICTORIA ROAD

REFERENCES

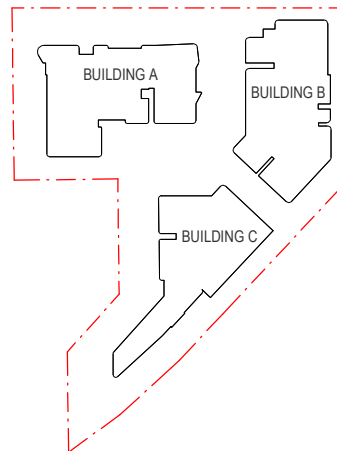
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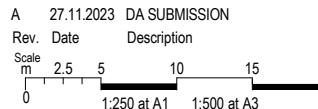
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Project
PROPOSED MIXED USE DEVELOPMENT

691-695 Victoria
Road, Ryde

Drawing Title

OVERALL LEVEL 7 FLOOR PLAN

DA SUBMISSION

Job no.	Drawing no.	Rev.
J23589D	DA 1110	A
Drawn by SP	Checked by RJ	Approved by ZC
Date SEP. 2023		

1 OVERALL LEVEL 7 FLOOR PLAN

1 : 250 at A1 1:500 at A3

BLAXLAND ROAD

PRINCES STREET

VICTORIA ROAD

REFERENCES

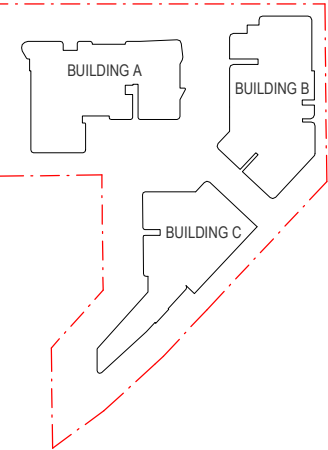
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Rev.	Date	Description
Scale	0 2.5 5 10 15 20	
m	1:250 at A1	1:500 at A3

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Project
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691- 695 Victoria
Road, Ryde

Drawing Title

OVERALL LEVEL 8 FLOOR PLAN

DA SUBMISSION

Job no.	Drawing no.	Rev.
J23589D	DA 1111	A
Drawn by	Checked by	Approved by
SP	RJ	ZC
Date		SEP. 2023

1 OVERALL LEVEL 8 FLOOR PLAN

1 : 250 at A1 1:500 at A3

BLAXLAND ROAD

PRINCES STREET

VICTORIA ROAD

REFERENCES

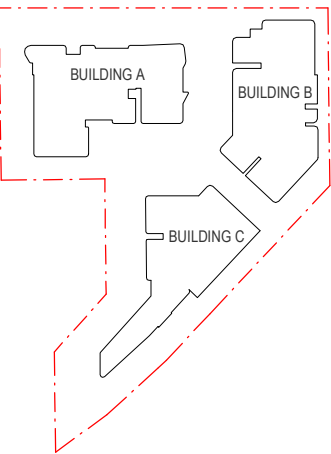
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Drawing Title

OVERALL LEVEL 9 FLOOR PLAN

DA SUBMISSION

Job no.	Drawing no.	Rev.
J23589D	DA 1112	A
Drawn by SP	Checked by RJ	Approved by ZC
Date SEP. 2023		

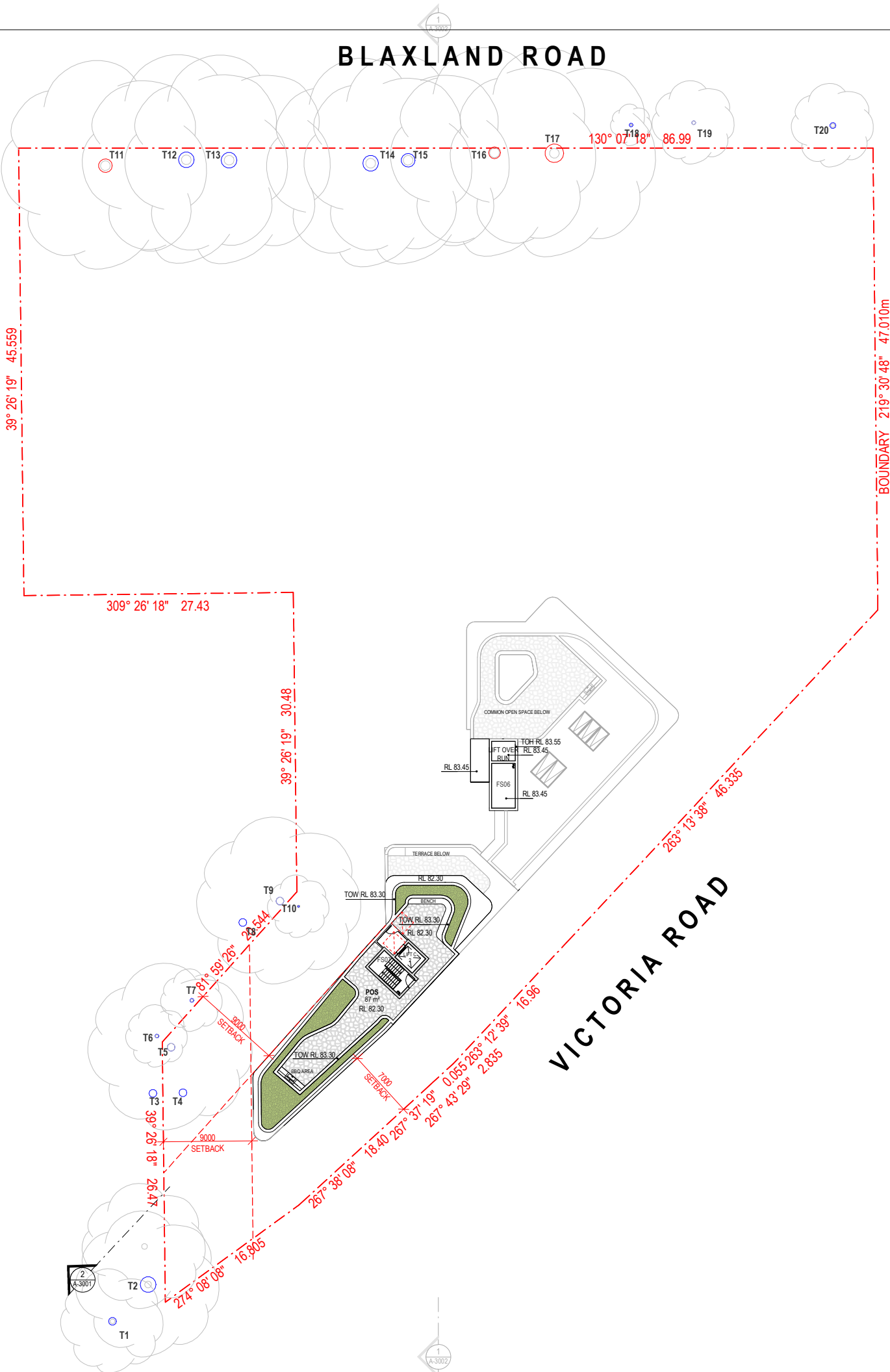
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1 : 250 at A1 1:500 at A3

BLAXLAND ROAD

PRINCES STREET

VICTORIA ROAD



REFERENCES

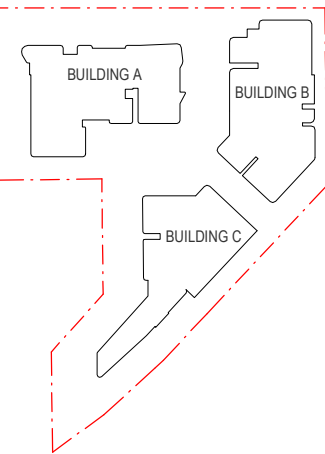
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PROPOSED MIXED USE DEVELOPMENT

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Road, Ryde

Drawing Title

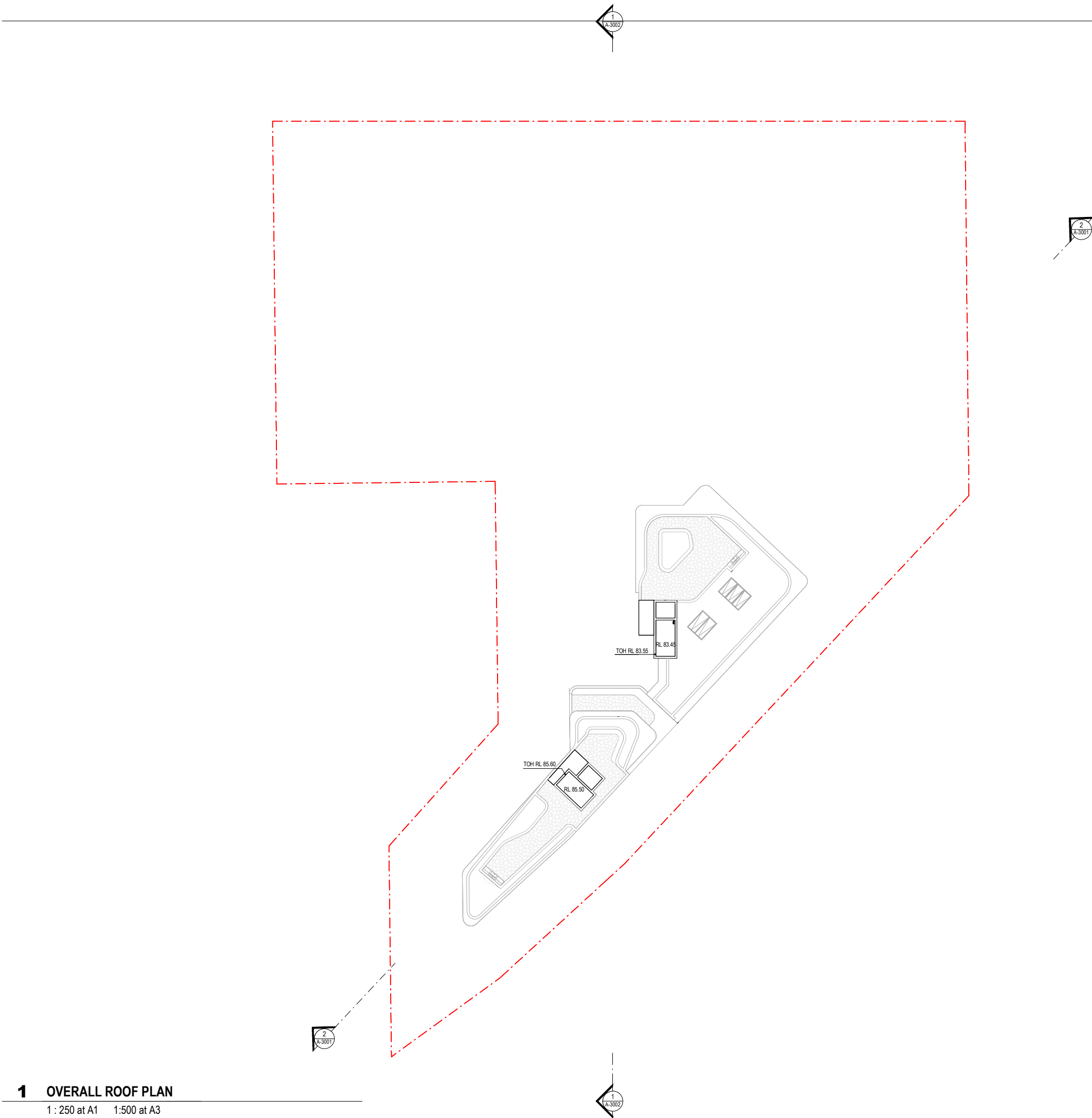
OVERALL ROOF TERRACE PLAN

DA SUBMISSION

Job no.	Drawing no.	Rev.
J23589D	DA 1113	A
Drawn by SP	Checked by RJ	Approved by ZC
Date SEP. 2023		

1 OVERALL ROOF TERRACE PLAN

1 : 250 at A1 1:500 at A3



1 OVERALL ROOF PLAN
1 : 250 at A1 1:500 at A3

REFERENCES

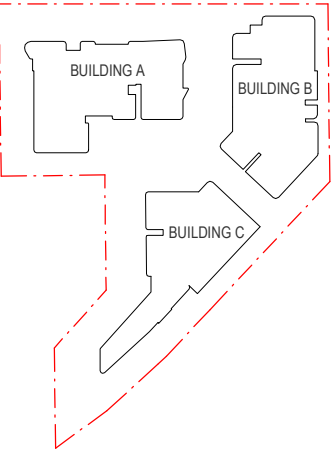
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Scale
m 0 2.5 5 10 15 20
1:250 at A1 1:500 at A3

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PROPOSED MIXED USE DEVELOPMENT

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OVERALL ROOF PLAN			
DA SUBMISSION			
Job no.	Drawing no.	Rev.	
J23589D	DA 1114	A	
Drawn by SP	Checked by RJ	Approved by ZC	Date SEP. 2023

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MATERIAL LEGEND

AWD	ALUMINIUM FRAME WINDOWS & DOORS - DULUX POWDERCOAT FINISH MONUMENT
BR1	AUSTRAL - BOWRAL 50 - BOWRAL BLUE- STRETCHER BOND
BR2	PGH SMOOTH BROWN - STACK BOND
CF1	CONCRETE FINISH - SMOOTH
CFC	JAMES HARDIE STRIA - SILVER TEA SET
MC1	SOLID ALUMINIUM - DULUX MONUMENT
MC2	SOLID ALUMINIUM - DULUX FINISH WHITE ON WHITE
RP1	RENDERED PAINT - DULUX WHISPER WHITE
RP2	RENDER PAINT - MONUMENT
TG	TINTED GLAZING

A	27.11.2023	DA SUBMISSION
Rev.	Date	Description
Scale	0 2.5 5 10 15 20	
m	1:250 at A1	1:500 at A3

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Project
PROPOSED MIXED USE DEVELOPMENT

691- 695 Victoria Road, Ryde

Drawing Title

NORTH ELEVATION

DA SUBMISSION			
Job no.	Drawing no.	Rev.	
J23589D	DA 2001	A	
Drawn by	Checked by	Approved by	Date
SP	RJ	ZC	SEP. 2023



1 NORTH ELEVATION - BLAXLAND ROAD

1 : 250 at A1 1:500 at A3

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MATERIAL LEGEND

- AWD

ALUMINIUM FRAME WINDOWS & DOORS - DULUX POWDERCOAT FINISH MONUMENT
- BR1

AUSTRAL - BOWRAL 50 - BOWRAL BLUE- STRETCHER BOND
- BR2

PGH SMOOTH BROWN - STACK BOND
- CF1

CONCRETE FINISH - SMOOTH
- CFC

JAMES HARDIE STRIA - SILVER TEA SET
- MC1

SOLID ALUMINIUM - DULUX MONUMENT
- MC2

SOLID ALUMINIUM - DULUX FINISH WHITE ON WHITE
- RP1

RENDERED PAINT - DULUX WHISPER WHITE
- RP2

RENDER PAINT - MONUMENT
- TG

TINTED GLAZING



1 SOUTH ELEVATION - VICTORIA ROAD

1 : 250 at A1 1:500 at A3

A	27.11.2023	DA SUBMISSION
Rev.	Date	Description
Scale		
m	2.5	5 10 15 20
0	1:250 at A1 1:500 at A3	

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Project
PROPOSED MIXED USE DEVELOPMENT

691- 695 Victoria
Road, Ryde

Drawing Title

SOUTH ELEVATION

DA SUBMISSION			
Job no.	Drawing no.	Rev.	
J23589D	DA 2002	A	
Drawn by SP	Checked by RJ	Approved by ZC	Date SEP. 2023

REFERENCES

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MATERIAL LEGEND

AWD	ALUMINIUM FRAME WINDOWS & DOORS - DULUX POWDERCOAT FINISH MONUMENT
BR1	AUSTRAL - BOWRAL 50 - BOWRAL BLUE- STRETCHER BOND
BR2	PGH SMOOTH BROWN - STACK BOND
CF1	CONCRETE FINISH - SMOOTH
CFC	JAMES HARDIE STRIA - SILVER TEA SET
MC1	SOLID ALUMINIUM - DULUX MONUMENT
MC2	SOLID ALUMINIUM - DULUX FINISH WHITE ON WHITE
RP1	RENDERED PAINT - DULUX WHISPER WHITE
RP2	RENDER PAINT - MONUMENT
TG	TINTED GLAZING



1 EAST ELEVATION - PRINCES STREET

1 : 250 at A1 1:500 at A3

Rev.	Date	Description
A	27.11.2023	DA SUBMISSION

Scale
m 0 2.5 5 10 15 20
1:250 at A1 1:500 at A3

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Project
PROPOSED MIXED USE DEVELOPMENT

691- 695 Victoria Road, Ryde

Drawing Title

EAST ELEVATION

DA SUBMISSION			
Job no.	Drawing no.	Rev.	
J23589D	DA 2003	A	
Drawn by SP	Checked by RJ	Approved by ZC	Date SEP. 2023

REFERENCES

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BR2	PGH SMOOTH BROWN - STACK BOND
CF1	CONCRETE FINISH - SMOOTH
CFC	JAMES HARDIE STRIA - SILVER TEA SET
MC1	SOLID ALUMINIUM - DULUX MONUMENT
MC2	SOLID ALUMINIUM - DULUX FINISH WHITE ON WHITE
RP1	RENDERED PAINT - DULUX WHISPER WHITE
RP2	RENDER PAINT - MONUMENT
TG	TINTED GLAZING

A	27.11.2023	DA SUBMISSION
Rev.	Date	Description
Scale	m 0 2.5 5 10 15 20	
	1:250 at A1	1:500 at A3

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Project
PROPOSED MIXED USE DEVELOPMENT

691- 695 Victoria
Road, Ryde

Drawing Title

WEST ELEVATION

DA SUBMISSION

Job no.	Drawing no.	Rev.
J23589D	DA 2004	A
Drawn by	Checked by	Approved by
SP	RJ	ZC
Date	SEP. 2023	



1 WEST ELEVATION - HATTON STREET

1 : 250 at A1 1:500 at A3

REFERENCES

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RP2	RENDER PAINT - MONUMENT
TG	TINTED GLAZING

A	27.11.2023	DA SUBMISSION
Rev.	Date	Description
Scale	1:125 at A1	1:250 at A3
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	5.0	7.5
	10.0	

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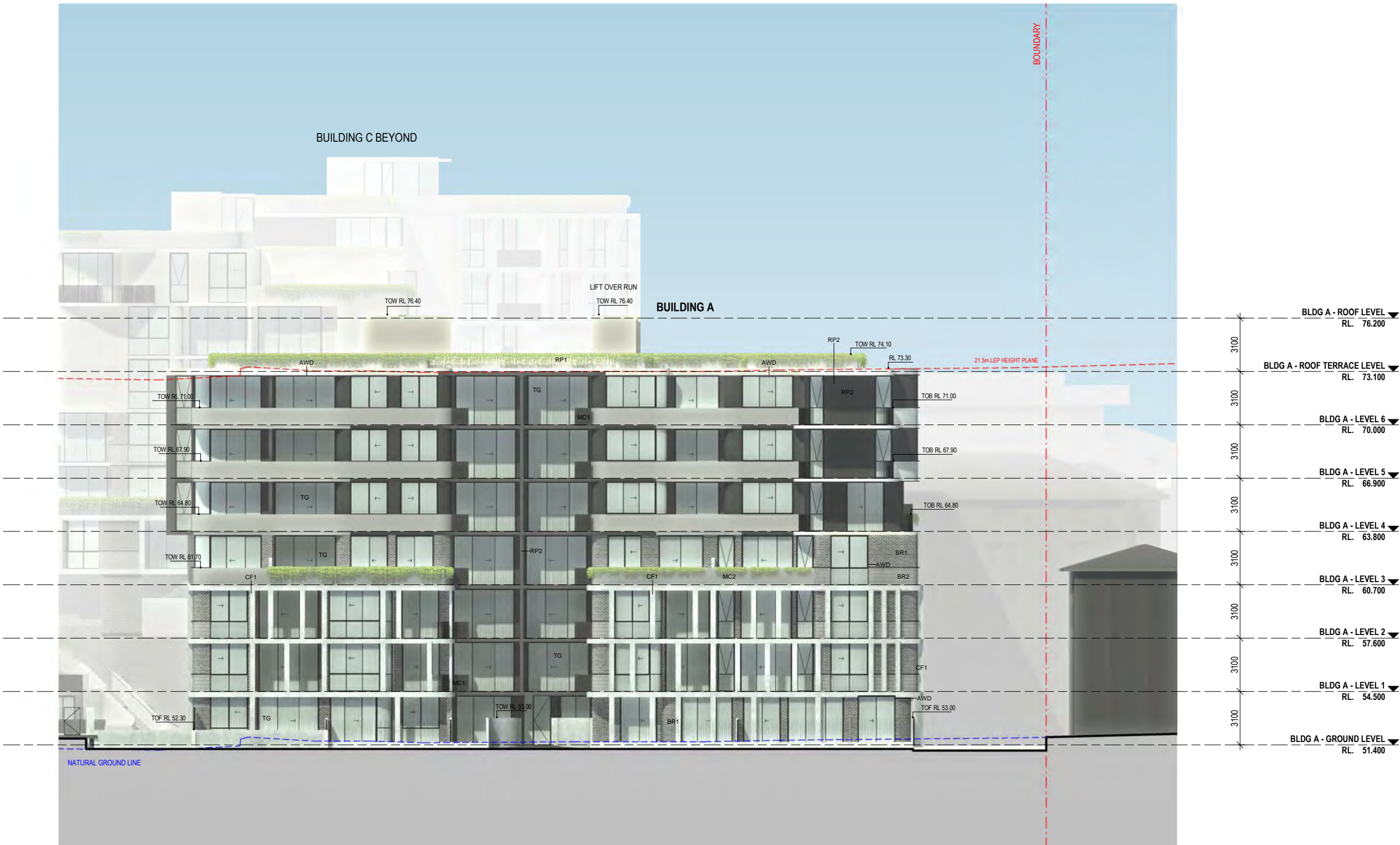
Project
PROPOSED MIXED USE DEVELOPMENT

691- 695 Victoria
Road, Ryde
Drawing Title

BUILDING A NORTH ELEVATION

DA SUBMISSION

Job no.	Drawing no.	Rev.
J23589D	DA 2011	A
Drawn by	Checked by	Approved by
SP	RJ	ZC
Date		
		SEP. 2023



1 BUILDING A NORTH ELEVATION - BLAXLAND ROAD

1 : 125 at A1 1:250 at A3

REFERENCES

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TG	TINTED GLAZING

A	27.11.2023	DA SUBMISSION			
Rev.	Date	Description			
Scale	1.25	2.5	5.0	7.5	10.0
m	0	1:125 at A1	1:250 at A3		

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Project
PROPOSED MIXED USE DEVELOPMENT

691- 695 Victoria Road, Ryde
Drawing Title

BUILDING A SOUTH ELEVATION

DA SUBMISSION

Job no.	Drawing no.	Rev.	
J23589D	DA 2012	A	
Drawn by	Checked by	Approved by	Date
SP	RJ	ZC	SEP. 2023



1 BUILDING A SOUTH ELEVATION

1 : 125 at A1 1:250 at A3

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RP2	RENDER PAINT - MONUMENT
TG	TINTED GLAZING

A	27.11.2023	DA SUBMISSION
Rev.	Date	Description
Scale	1:125 at A1	1:250 at A3
m	0	10.0

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Project
PROPOSED MIXED USE DEVELOPMENT

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Drawing Title

BUILDING A EAST ELEVATION

DA SUBMISSION

Job no.	Drawing no.	Rev.
J23589D	DA 2013	A
Drawn by	Checked by	Approved by
SP	RJ	ZC
Date		
SEP. 2023		



1 BUILDING A EAST ELEVATION

1 : 125 at A1 1:250 at A3

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TG	TINTED GLAZING

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Rev.	Date	Description
Scale	1:125 at A1	1:250 at A3
m	0	10.0

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Project
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Drawing Title

BUILDING A WEST ELEVATION

Job no.	Drawing no.	Rev.
J23589D	DA 2014	A
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SP	RJ	ZC
Date		
SEP. 2023		



1 BUILDING A WEST ELEVATION - HATTON STREET

1 : 125 at A1 1:250 at A3

REFERENCES

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Project
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691- 695 Victoria Road, Ryde
Drawing Title

BUILDING B NORTH ELEVATION

Job no.	Drawing no.	Rev.
J23589D	DA 2021	A
Drawn by	Checked by	Approved by
SP	RJ	ZC
Date	SEP. 2023	



1 BUILDING B NORTH ELEVATION - BLAXLAND ROAD

1 : 125 at A1 1:250 at A3

REFERENCES

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A	27.11.2023	DA SUBMISSION
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Scale	1:125	1:250
m	2.5	5.0
0	7.5	10.0
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Project

PROPOSED MIXED USE DEVELOPMENT

691- 695 Victoria Road, Ryde

Drawing Title

BUILDING B SOUTH ELEVATION

DA SUBMISSION

Job no.	Drawing no.	Rev.
J23589D	DA 2022	A
Drawn by	Checked by	Approved by
SP	RJ	ZC
Date		
		SEP. 2023



1 BUILDING B SOUTH ELEVATION

1 : 125 at A1 1:250 at A3



1 BUILDING B EAST ELEVATION - PRINCES STREET

1 : 125 at A1 1 : 250 at A3

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Project
PROPOSED MIXED USE DEVELOPMENT

691- 695 Victoria Road, Ryde
Drawing Title

BUILDING B EAST ELEVATION

DA SUBMISSION

Job no.	Drawing no.	Rev.
J23589D	DA 2023	A
Drawn by	Checked by	Approved by
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Date		
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Project
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Drawing Title

BUILDING B WEST ELEVATION

DA SUBMISSION

Job no.	Drawing no.	Rev.
J23589D	DA 2024	A
Drawn by	Checked by	Approved by
SP	RJ	ZC
Date		
		SEP. 2023



1 BUILDING B WEST ELEVATION

1 : 125 at A1 1:250 at A3

REFERENCES

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MATERIAL LEGEND

- AWD

ALUMINIUM FRAME WINDOWS & DOORS - DULUX POWDERCOAT FINISH MONUMENT
- BR1

AUSTRAL - BOWRAL 50 - BOWRAL BLUE- STRETCHER BOND
- BR2

PGH SMOOTH BROWN - STACK BOND
- CF1

CONCRETE FINISH - SMOOTH
- CFC

JAMES HARDIE STRIA - SILVER TEA SET
- MC1

SOLID ALUMINIUM - DULUX MONUMENT
- MC2

SOLID ALUMINIUM - DULUX FINISH WHITE ON WHITE
- RP1

RENDERED PAINT - DULUX WHISPER WHITE
- RP2

RENDER PAINT - MONUMENT
- TG

TINTED GLAZING



1 BUILDING C NORTH ELEVATION

1 : 125 at A1 1:250 at A3

Rev.	Date	Description
A	27.11.2023	DA SUBMISSION

Scale

m

0 1.25 2.5 5.0 7.5 10.0

1:125 at A1 1:250 at A3

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Project
PROPOSED MIXED USE DEVELOPMENT

691- 695 Victoria Road, Ryde
Drawing Title

BUILDING C NORTH ELEVATION

DA SUBMISSION

Job no.	Drawing no.	Rev.
J23589D	DA 2031	A
Drawn by SP	Checked by RJ	Approved by ZC
		Date SEP. 2023



1 BUILDING C SOUTH ELEVATION - VICTORIA ROAD
1 : 125 at A1 1:250 at A3

- MATERIAL LEGEND**
- AWD ALUMINIUM FRAME WINDOWS & DOORS - DULUX POWDERCOAT FINISH MONUMENT
 - BR1 AUSTRAL - BOWRAL 50 - BOWRAL BLUE- STRETCHER BOND
 - BR2 PGH SMOOTH BROWN - STACK BOND
 - CF1 CONCRETE FINISH - SMOOTH
 - CFC JAMES HARDIE STRIA - SILVER TEA SET
 - MC1 SOLID ALUMINIUM - DULUX MONUMENT
 - MC2 SOLID ALUMINIUM - DULUX FINISH WHITE ON WHITE
 - RP1 RENDERED PAINT - DULUX WHISPER WHITE
 - RP2 RENDER PAINT - MONUMENT
 - TG TINTED GLAZING

REFERENCES

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BLG C - LOWER LEVEL ROOF	RL. 83.350
BLG C - LOWER LEVEL ROOF TERRACE	RL. 80.250
BLG C - LOWER LEVEL 6	RL. 77.150
BLG C - LOWER LEVEL 5	RL. 74.050
BLG C - LOWER LEVEL 4	RL. 70.950
BLG C - LOWER LEVEL 3	RL. 67.850
BLG C - LOWER LEVEL 2	RL. 64.750
BLG C - LOWER LEVEL 1	RL. 61.650
BLG C - LOWER GROUND LEVEL	RL. 57.950

A	27.11.2023	DA SUBMISSION			
Rev.	Date	Description			
Scale	1.25	2.5	5.0	7.5	10.0
m	0	1:125 at A1	1:250 at A3		

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Project
PROPOSED MIXED USE DEVELOPMENT
691- 695 Victoria
Road, Ryde
Drawing Title

BUILDING C SOUTH ELEVATION			
DA SUBMISSION			
Job no.	Drawing no.	Rev.	
J23589D	DA 2032	A	
Drawn by	Checked by	Approved by	Date
SP	RJ	ZC	SEP. 2023

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MATERIAL LEGEND

AWD	ALUMINIUM FRAME WINDOWS & DOORS - DULUX POWDERCOAT FINISH MONUMENT
BR1	AUSTRAL - BOWRAL 50 - BOWRAL BLUE- STRETCHER BOND
BR2	PGH SMOOTH BROWN - STACK BOND
CF1	CONCRETE FINISH - SMOOTH
CFC	JAMES HARDIE STRIA - SILVER TEA SET
MC1	SOLID ALUMINIUM - DULUX MONUMENT
MC2	SOLID ALUMINIUM - DULUX FINISH WHITE ON WHITE
RP1	RENDERED PAINT - DULUX WHISPER WHITE
RP2	RENDER PAINT - MONUMENT
TG	TINTED GLAZING

A	27.11.2023	DA SUBMISSION			
Rev.	Date	Description			
Scale	1.25	2.5	5.0	7.5	10.0
m	0	1:125 at A1	1:250 at A3		

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PROPOSED MIXED USE DEVELOPMENT

691- 695 Victoria
Road, Ryde

Drawing Title

BUILDING C EAST ELEVATION

DA SUBMISSION				
Job no.	Drawing no.	Rev.		
J23589D	DA 2033	A		
Drawn by	Checked by	Approved by	Date	
SP	RJ	ZC	SEP. 2023	



1 BUILDING C EAST ELEVATION

1 : 125 at A1 1:250 at A3

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BLG C - UPPER LEVEL ROOF	RL. 85.400
BLG C - UPPER LEVEL ROOF TERRACE	RL. 82.300
BLG C - UPPER LEVEL 6	RL. 79.200
BLG C - UPPER LEVEL 5	RL. 76.100
BLG C - UPPER LEVEL 4	RL. 73.000
BLG C - UPPER LEVEL 3	RL. 69.900
BLG C - UPPER LEVEL 2	RL. 66.800
BLG C - UPPER LEVEL 1	RL. 63.700
BLG C - UPPER GROUND LEVEL	RL. 60.000

A	27.11.2023	DA SUBMISSION
Rev.	Date	Description
Scale	1:125 at A1	1:250 at A3

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Drawing Title
BUILDING C WEST ELEVATION

DA SUBMISSION

Job no.	Drawing no.	Rev.
J23589D	DA 2034	A
Drawn by SP	Checked by RJ	Approved by ZC
Date SEP. 2023		



1 BUILDING C WEST ELEVATION

1 : 125 at A1 1:250 at A3

MATERIAL LEGEND

AWD	ALUMINIUM FRAME WINDOWS & DOORS - DULUX POWDERCOAT FINISH MONUMENT
BR1	AUSTRAL - BOWRAL 50 - BOWRAL BLUE- STRETCHER BOND
BR2	PGH SMOOTH BROWN - STACK BOND
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RP2	RENDER PAINT - MONUMENT
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1 : 250 at A1 1:500 at A3



1 : 250 at A1 1:500 at A3

Rev. 27.11.2023 DA SUBMISSION

Scale 0 2.5 5 10 15 20

1:250 at A1 1:500 at A3

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PROPOSED MIXED USE DEVELOPMENT

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Road, Ryde

BUILDING SECTIONS

BUILDING SECTIONS

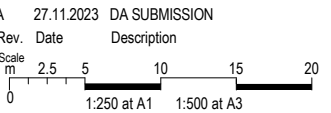
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Job no.	Drawing no.	Rev.	
J23589D	DA 3001	A	
Drawn by	Checked by	Approved by	Date
SP	RJ	ZC	SEP. 2023

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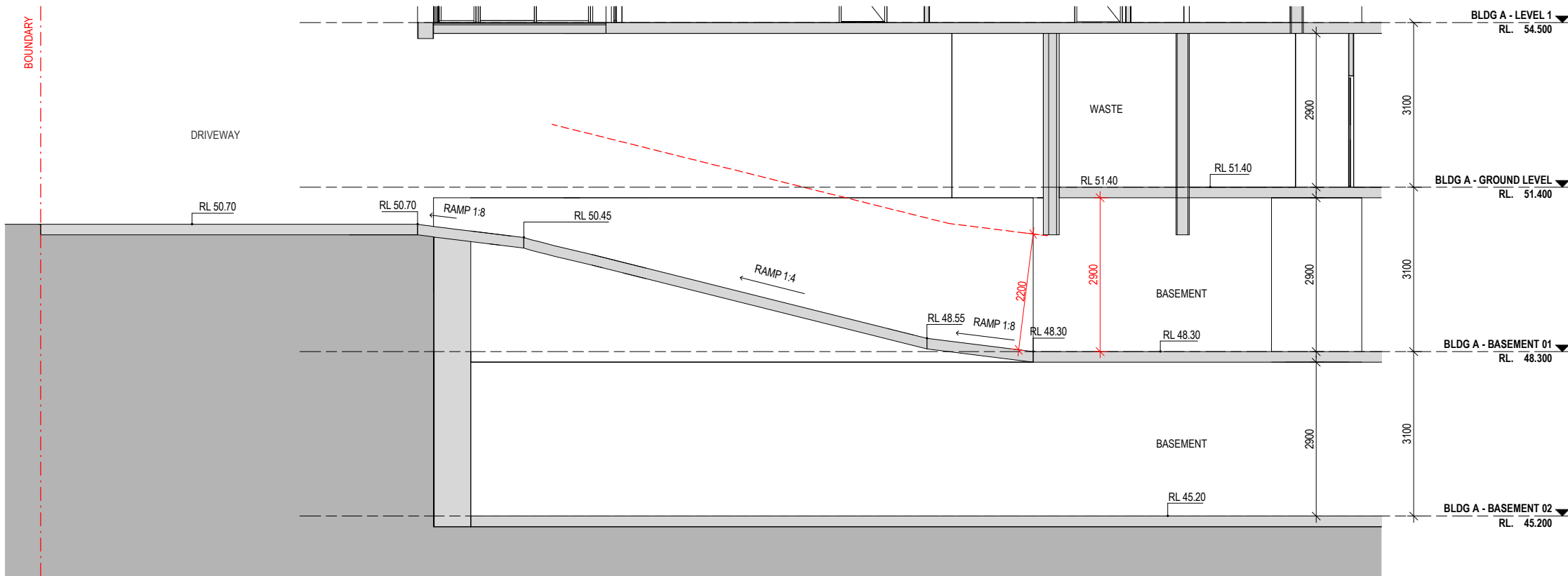
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Drawing Title

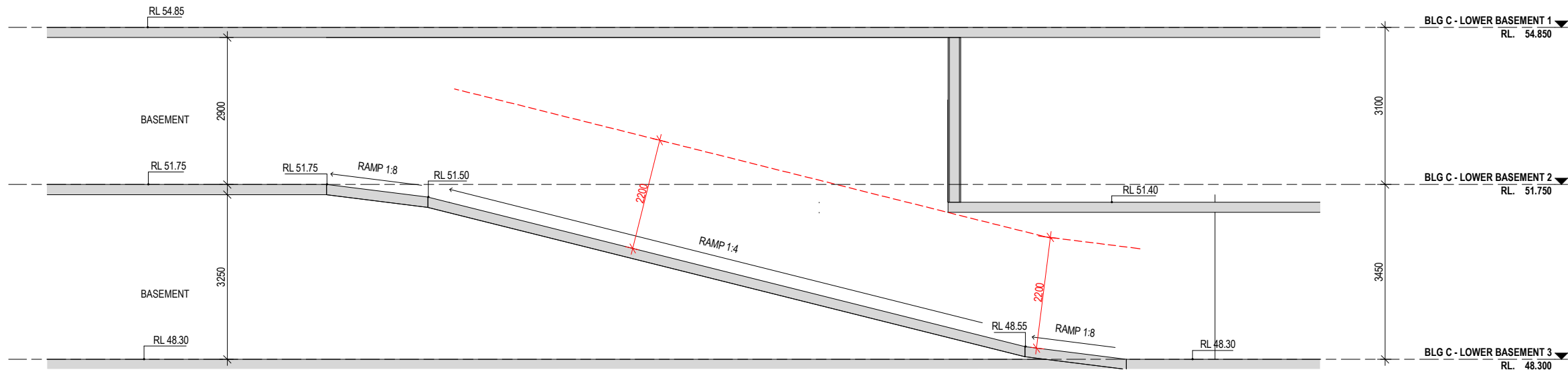
Job no. _____ Drawing no. _____ Rev. _____

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1 DRIVEWAY SECTION

1 : 50 at A1 1:100 at A3



2 RAMP SECTION 2

1 : 50 at A1 1:100 at A3

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Rev. Date Description

Scale
m 0 0.5 1 2 3 4
1:50 at A1 1:100 at A3

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Drawing Title

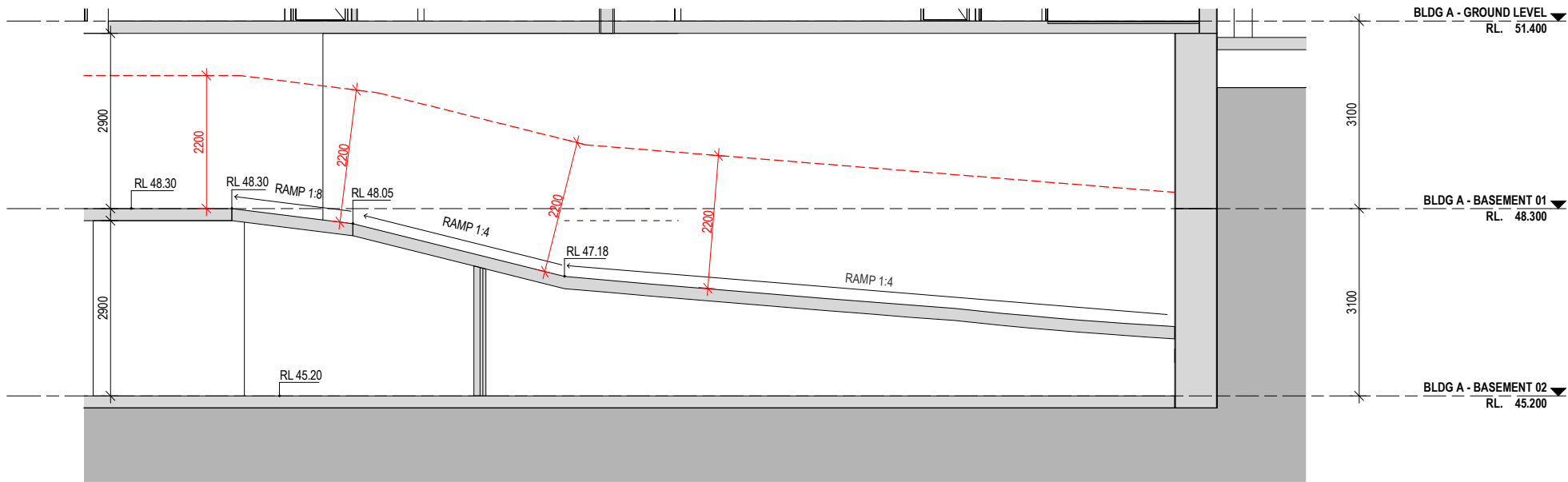
DRIVEWAY & RAMP SECTIONS

DA SUBMISSION

Job no. Drawing no. Rev.

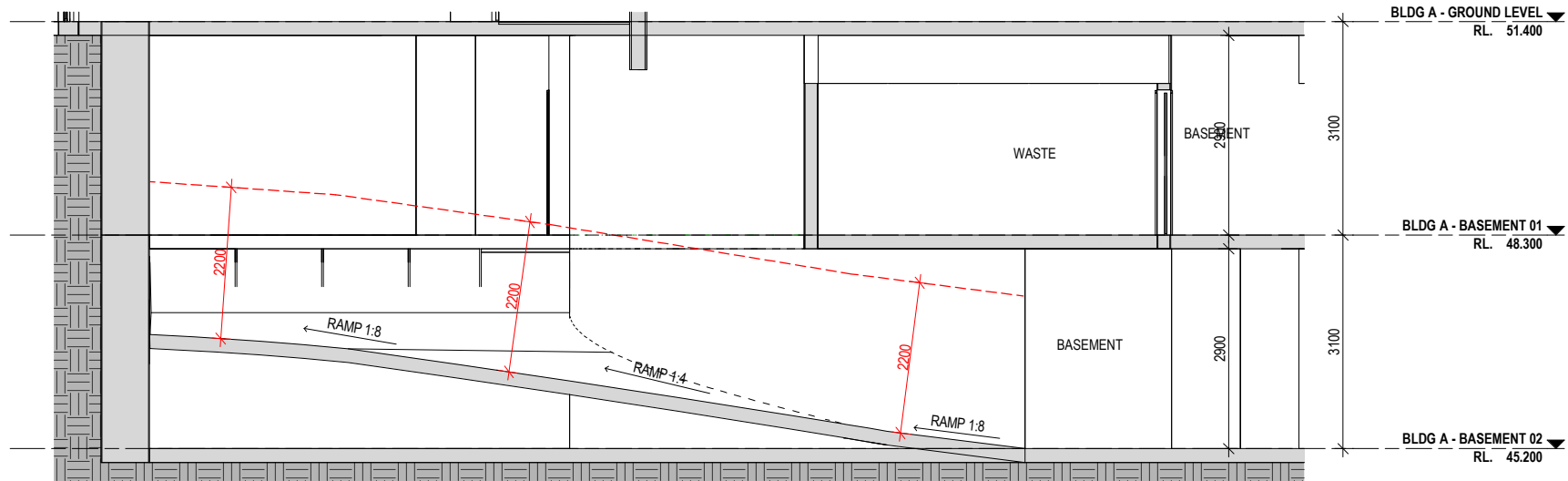
J23589D DA 3003 A

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SP RJ ZC SEP. 2023



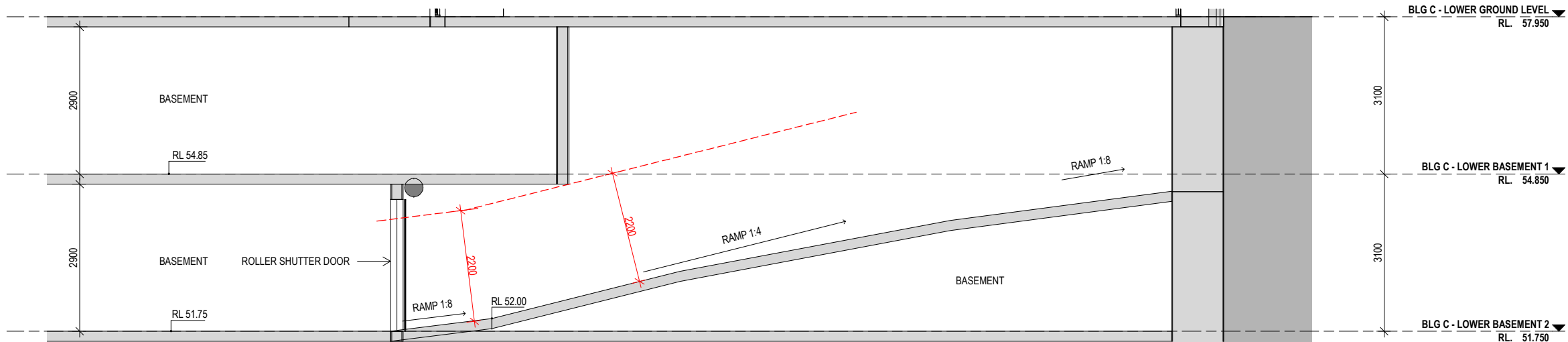
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1 : 50 at A1 1:100 at A3



2 RAMP SECTION 2

1 : 50 at A1 1:100 at A3



3 RAMP SECTION 3

1 : 50 at A1 1:100 at A3

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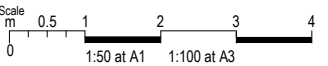
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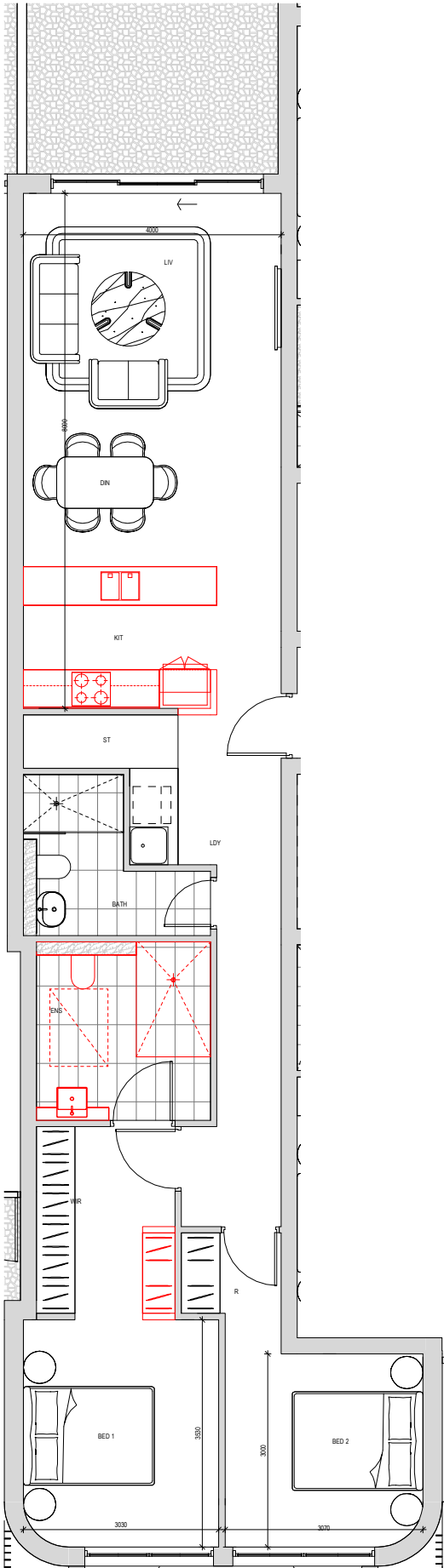
DRIVEWAY & RAMP SECTIONS

DA SUBMISSION

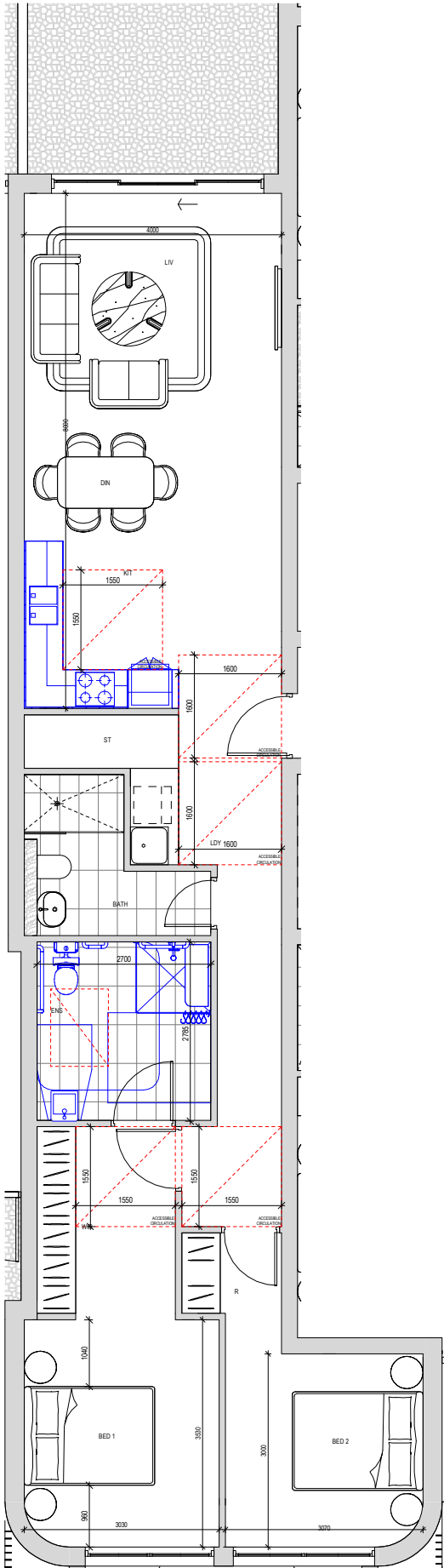
Job no. Drawing no. Rev.

J23589D DA 3004 A

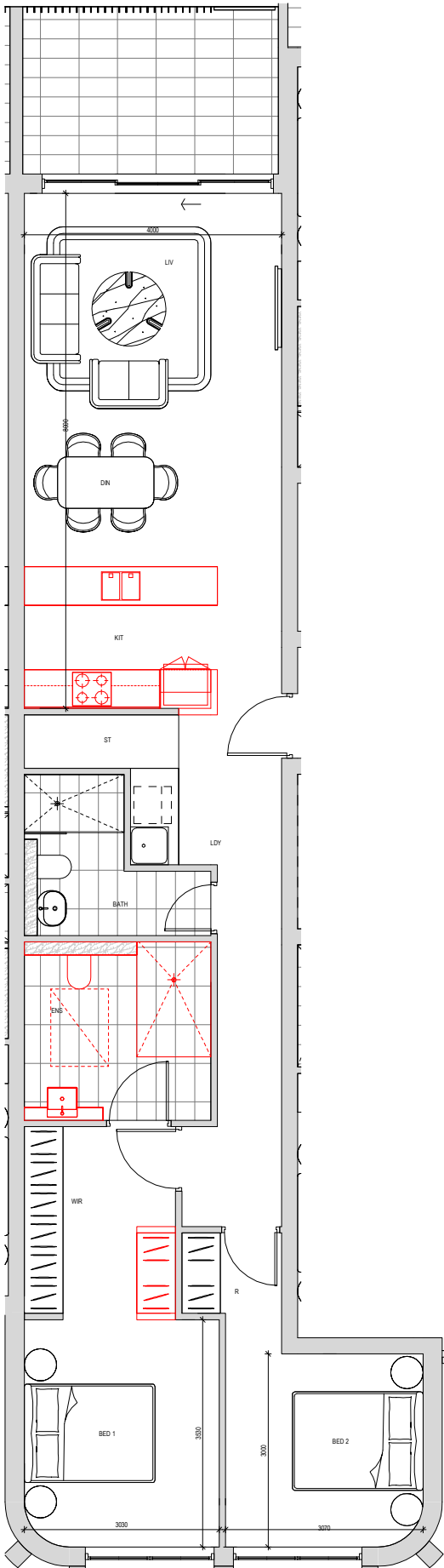
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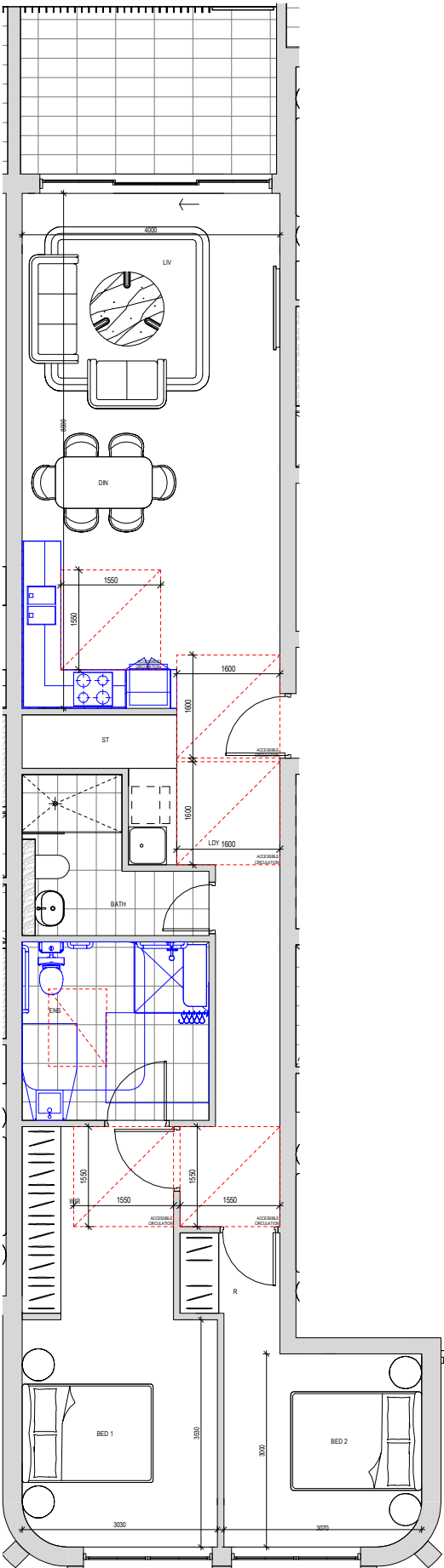
1 UG03 - PRE ADAPTABLE
1 : 50 at A1 1:100 at A3



2 UG03 - POST ADAPTABLE
1 : 50 at A1 1:100 at A3



5 U104 & U204 - PRE ADAPTABLE
1 : 50 at A1 1:100 at A3



6 U104 & U204 - POST ADAPTABLE
1 : 50 at A1 1:100 at A3

GENERAL

1. ALL ADAPTABLE BALCONIES SHALL BE PROVIDED WITH 35mm STEP FROM INSIDE TO BALCONIES TO ENSURE SMOOTH TRANSITION.
2. GENERAL PLUMBER TO PROVIDE EXTRA CAPPED-OFF SERVICES TO ALLOW FOR THE RELOCATION OF SANITARY FIXTURES.
3. IN ACCESSIBLE SOLE OCCUPANCY UNITS, THE LIGHT SWITCHES SHALL BE 30x30mm MIN. SIZE AT A HEIGHT TO MATCH THE DOOR HANDLES. GPOs SHALL BE LOCATED BETWEEN 600mm AND 1100mm ABOVE THE FLOOR AND 500mm FROM AN INTERNAL CORNER.

LIVING AND DINING ROOM

1. POTENTIAL ILLUMINATION LEVEL MIN. 300LUX TO BE PROVIDED TO COMPLY WITH AS 4299.1995 CLAUSE 4.10
2. TELEPHONE ADJACENT TO GPO TO BE PROVIDED TO COMPLY WITH AS 4299.1995 CLAUSE 4.7.4

KITCHEN

1. ALL POST ADAPTATION KITCHEN APPLIANCES SHALL BE INSTALLED AS PER AS4299.1995. ENSURE COOK TOP AND WALL MOUNTED OVEN HAVE 800mm BENCH SPACE ADJACENT.
2. PROVIDE WALL MOUNTED OVEN FOR ADAPTABLE UNITS.
3. COOKTOPS TO INCLUDE ISOLATING SWITCH TO COMPLY WITH AS 4299.1995 CLAUSE 4.5.7.
4. GPOs TO COMPLY WITH AS 4299.1995 CLAUSE 4.5.11.
5. SLIP RESISTANT FLOOR SURFACE TO BE PROVIDED TO COMPLY WITH AS 4299.1995 CLAUSE 4.5.4.

BATHROOM

1. ALL BATHROOMS SHALL HAVE NO HOBBS TO SHOWER. ENSURE MIN. 1160mm x 1000mm SHOWER ZONE. INSTALL ACCESSIBLE TOILET, BASIN GRABRAILS AND SHOWER SEATS AS PER AS1428.1-2009. ENSURE ALL PRE-ADAPTATION SERVICES ARE SEALED.
2. SLIP RESISTANT FLOOR SURFACE TO BE PROVIDED TO COMPLY WITH AS 4299.1995 CLAUSE 4.4.2.
3. SHOWER RECESS - NO HOB. MIN. SIZE 1160 x 1100mm TO COMPLY WITH AS 4299.1995 CLAUSE 4.4.4.1.
4. SHOWER ARE WATERPROOFED TO AS3740 WITH FLOOR TO FALL WASTE SLIP RESISTANT SLIP SURFACE TO BE PROVIDED TO COMPLY WITH AS 4299.1995 CLAUSE 4.4.4.1.
5. IS RECESSED SOAP HOLDER IS NOT PROVIDED A HEAVY DUTY LOAD BEARING SOAP HOLDER WILL BE REQUIRED SLIP RESISTANT FLOOR SURFACE TO BE PROVIDED TO COMPLY WITH AS 4299.1995 CLAUSE 4.4.4.1.
6. PROVISION FOR ADJUSTABLE, DETACHABLE HAND HELD SHOWER ROSE MOUNTED ON A SLIDER GRABRAIL OR FIXED HOOK PLUMBING AND PROVIDE REINFORCEMENT TO WALL TO TAKE THE GRABRAILS UNLESS BRICK WALLS HAVE BEEN PROVIDED. TO COMPLY WITH AS 4299.1995 CLAUSE 4.4.4.1.
7. GRABRAIL IN SHOWER TO BE PROVIDED TO COMPLY WITH AS 1428.1 AS PER AS 4299.1995 CLAUSE 4.4.4.1.
8. GRABRAIL IN SHOWER TO BE PROVIDED TO COMPLY WITH AS 1428.1 AS PER AS 4299.1995 CLAUSE 4.4.4.1.
9. PROVISION FOR WASHIN WITH CLEARANCES TO COMPLY WITH AS1428.11. 425mm IS REQUIRED FROM THE SIDE OF THE WALL TO THE CENTRE LINE OF THE BASIN. BASIN IS REQUIRED TO BE AT LEAST 300mm AWAY FROM THE DOOR SWING. TO COMPLY WITH AS 4299.1995 CLAUSE 4.4.4.1.
10. GPO BEDSIDE MIRROR TO BE PROVIDED. TO COMPLY WITH AS 4299.1995 CLAUSE 4.4.4.4.
11. LOCATION OF WC PAN AT CORRECT DISTANCE FROM WALL 450mm/680mm IS REQUIRED FROM THE SIDE WALL TO THE CENTRE LINE OF THE WC PAN. TO COMPLY WITH AS 4299.1995 CLAUSE 4.4.3.
12. PROVISION FOR GRABRAIL ZONE. REINFORCEMENT TO WALL TO TAKE THE GRABRAILS UNLESS BRICK WALLS HAVE BEEN PROVIDED. TO COMPLY WITH AS 4299.1995 CLAUSE 4.4.4.1.
13. SLIP RESISTANT FLOOR SURFACE (VITREOUS TILES OR SIMILAR) TO BE PROVIDED. TO COMPLY WITH AS 4299.1995 CLAUSE 4.4.2.

LAUNDRY

1. LAUNDRY-COMBINED WASHER/DRYER UNITS TO BE INSTALLED TO ADAPTABLE UNITS IF REQUIRED AS PART OF ADAPTATION CHANGE.
2. DOUBLE GPO TO BE PROVIDED. TO COMPLY WITH AS 4299.1995 CLAUSE 4.8a.
3. SLIP RESISTANT SURFACE TO BE PROVIDED. TO COMPLY WITH AS 4299.1995 CLAUSE 4.9.1.

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LEGEND

- EXISTING TO BE RETAINED
- TO BE DEMOLISHED IN POST-ADAPTABLE PHASE
- TO BE CONSTRUCTED IN POST-ADAPTABLE PHASE
- ACCESSIBLE CIRCULATION
- WHEELCHAIR TURNING SPACE DIAMETER

A	27.11.2023	DA SUBMISSION
Rev.	Date	Description
Scale	0 0.5 1 2 3 4	
m	1:50 at A1	1:100 at A3

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Nominated Architect: Lijana Ermilova 7887, ABN 24 243 205 327

Member Australian Institute of Architects

Project
PROPOSED MIXED USE DEVELOPMENT

691- 695 Victoria Road, Ryde

Drawing Title

PRE + POST ADAPTABLE UNIT LAYOUT - BUILDING A

DA SUBMISSION

Job no. Drawing no. Rev.

J23589D DA 5001 A

Drawn by SP Checked by RJ Approved by ZC Date SEP. 2023

REFERENCES

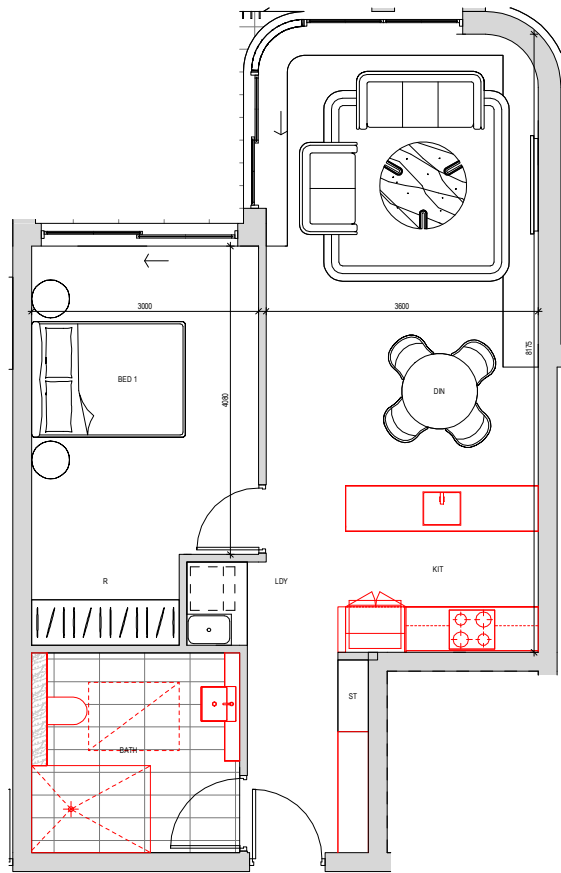
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REFER TO CURRENT BASIX REPORT FOR ADDITIONAL REQUIREMENTS TO ONES NOTED ON PLANS

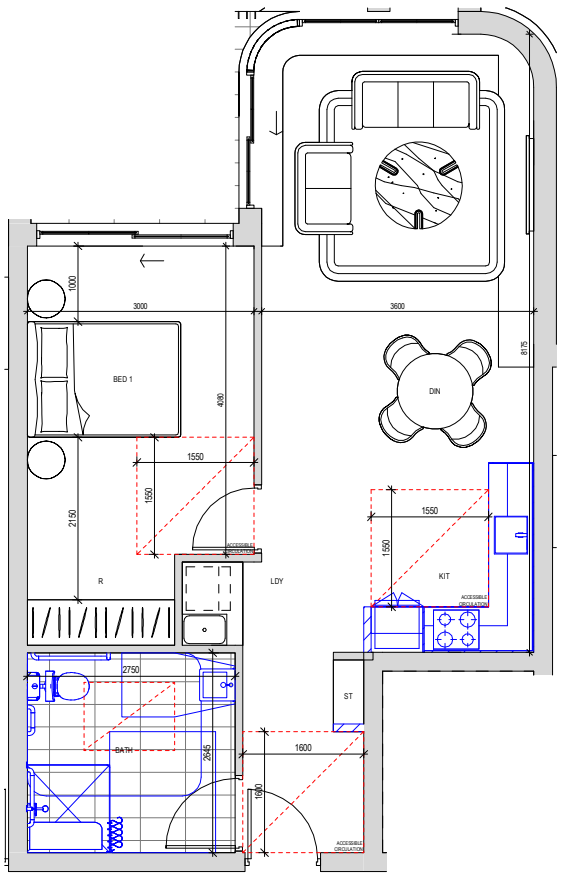
NOTES

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1 U102 & U202 - PRE ADAPTABLE

1: 50 at A1 1:100 at A3



2 U102 & U202 - POST ADAPTABLE

1: 50 at A1 1:100 at A3

GENERAL

1. ALL ADAPTABLE BALCONIES SHALL BE PROVIDED WITH 35mm STEP FROM INSIDE TO BALCONIES TO ENSURE SMOOTH TRANSITION.

2. GENERAL PLUMBER TO PROVIDE EXTRA CAPPED-OFF SERVICES TO ALLOW FOR THE RELOCATION OF SANITARY FIXTURES.

3. IN ACCESSIBLE SOLE OCCUPANCY UNITS, THE LIGHT SWITCHES SHALL BE 30x30mm MIN. SIZE AT A HEIGHT TO MATCH THE DOOR HANDLES. GPOs SHALL BE LOCATED BETWEEN 600mm AND 1100mm ABOVE THE FLOOR AND 500mm FROM AN INTERNAL CORNER.

LIVING AND DINING ROOM

1. POTENTIAL ILLUMINATION LEVEL MIN. 300LUX TO BE PROVIDED TO COMPLY WITH AS 4299.1995 CLAUSE 4.10

2. TELEPHONE ADJACENT TO GPO TO BE PROVIDED TO COMPLY WITH AS 4299.1995 CLAUSE 4.7.4

KITCHEN

1. ALL POST ADAPTATION KITCHEN APPLIANCES SHALL BE INSTALLED AS PER AS4299.1995. ENSURE COOK TOP AND WALL MOUNTED OVEN HAVE 800mm BENCH SPACE ADJACENT.

2. PROVIDE WALL MOUNTED OVEN FOR ADAPTABLE UNITS.

3. COOKTOPS TO INCLUDE ISOLATING SWITCH TO COMPLY WITH AS 4299.1995 CLAUSE 4.5.7.

4. GPOs TO COMPLY WITH AS 4299.1995 CLAUSE 4.5.11.

5. SLIP RESISTANT FLOOR SURFACE TO BE PROVIDED TO COMPLY WITH AS 4299.1995 CLAUSE 4.5.4.

BATHROOM

1. ALL BATHROOMS SHALL HAVE NO HOBBS TO SHOWER. ENSURE MIN. 1160mm x 1000mm SHOWER ZONE. INSTALL ACCESSIBLE TOILET, BASIN GRABRAILS AND SHOWER SEATS AS PER AS1428.1-2009. ENSURE ALL PRE-ADAPTATION SERVICES ARE SEALED.

2. SLIP RESISTANT FLOOR SURFACE TO BE PROVIDED TO COMPLY WITH AS 4299.1995 CLAUSE 4.4.2.

3. SHOWER RECESS - NO HOB. MIN. SIZE 1160 x 1100mm TO COMPLY WITH AS 4299.1995 CLAUSE 4.4.4.1.

4. SHOWER ARE WATERPROOFED TO AS3740 WITH FLOOR TO FALL WASTE SLIP RESISTANT SLIP SURFACE TO BE PROVIDED TO COMPLY WITH AS 4299.1995 CLAUSE 4.4.4.1.

5. IS RECESSED SOAP HOLDER IS NOT PROVIDED A HEAVY DUTY LOAD BEARING SOAP HOLDER WILL BE REQUIRED SLIP RESISTANT FLOOR SURFACE TO BE PROVIDED TO COMPLY WITH AS 4299.1995 CLAUSE 4.4.4.1.

6. SHOWER TAPS TO BE POSITIONED FOR EASY REACH TO ACCESS SIDE OF SHOWER SLIDING TRACK SLIP RESISTANT FLOOR SURFACE TO BE PROVIDED TO COMPLY WITH AS 4299.1995 CLAUSE 4.4.4.1.

7. PROVISION FOR ADJUSTABLE, DETACHABLE HAND HELD SHOWER ROSE MOUNTED ON A SLIDER GRABRAIL OR FIXED HOOK PLUMBING AND PROVIDE REINFORCEMENT TO WALL TO TAKE THE GRABRAILS UNLESS BRICK WALLS HAVE BEEN PROVIDED. TO COMPLY WITH AS 4299.1995 CLAUSE 4.4.4.1.

8. GRABRAIL IN SHOWER TO BE PROVIDED TO COMPLY WITH AS 1428.1 AS PER AS 4299.1995 CLAUSE 4.4.4.1.

9. PROVISION FOR WASHIN WITH CLEARANCES TO COMPLY WITH AS1428.11. 425mm IS REQUIRED FROM THE SIDE OF THE WALL TO THE CENTRE LINE OF THE BASIN. BASIN IS REQUIRED TO BE AT LEAST 300mm AWAY FROM THE DOOR SWING. TO COMPLY WITH AS 4299.1995 CLAUSE 4.4.4.1.

10. GPO BEDSIDE MIRROR TO BE PROVIDED. TO COMPLY WITH AS 4299.1995 CLAUSE 4.4.4.4.

11. LOCATION OF WC PAN AT CORRECT DISTANCE FROM WALL 450mm/60mm IS REQUIRED FROM THE SIDE WALL TO THE CENTRE LINE OF THE WC PAN. TO COMPLY WITH AS 4299.1995 CLAUSE 4.4.3.

12. PROVISION FOR GRABRAIL ZONE. REINFORCEMENT TO WALL TO TAKE THE GRABRAILS UNLESS BRICK WALLS HAVE BEEN PROVIDED. TO COMPLY WITH AS 4299.1995 CLAUSE 4.4.4.1.

13. SLIP RESISTANT FLOOR SURFACE (VITREOUS TILES OR SIMILAR) TO BE PROVIDED. TO COMPLY WITH AS 4299.1995 CLAUSE 4.4.2.

LAUNDRY

1. LAUNDRY-COMBINED WASHER/DRYER UNITS TO BE INSTALLED TO ADAPTABLE UNITS IF REQUIRED AS PART OF ADAPTATION CHANGE.

2. DOUBLE GPO TO BE PROVIDED. TO COMPLY WITH AS 4299.1995 CLAUSE 4.8a.

3. SLIP RESISTANT SURFACE TO BE PROVIDED. TO COMPLY WITH AS 4299.1995 CLAUSE 4.9.1.

Rev. Date Description

Scale

0 0.5 1 2 3 4

1:50 at A1 1:100 at A3

Project Architect

DDA

CDARCHITECTS

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Nominated Architect: Lijana Ermilova 7887, ABN 24 243 205 327

Project

PROPOSED MIXED USE DEVELOPMENT

691- 695 Victoria Road, Ryde

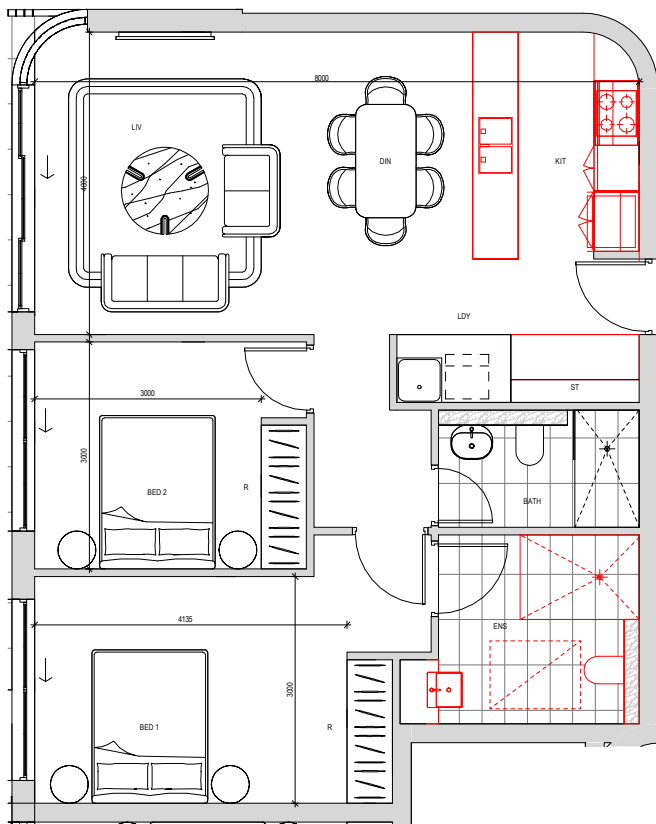
Drawing Title

PRE + POST ADAPTABLE UNIT LAYOUT - BUILDING A

DA SUBMISSION

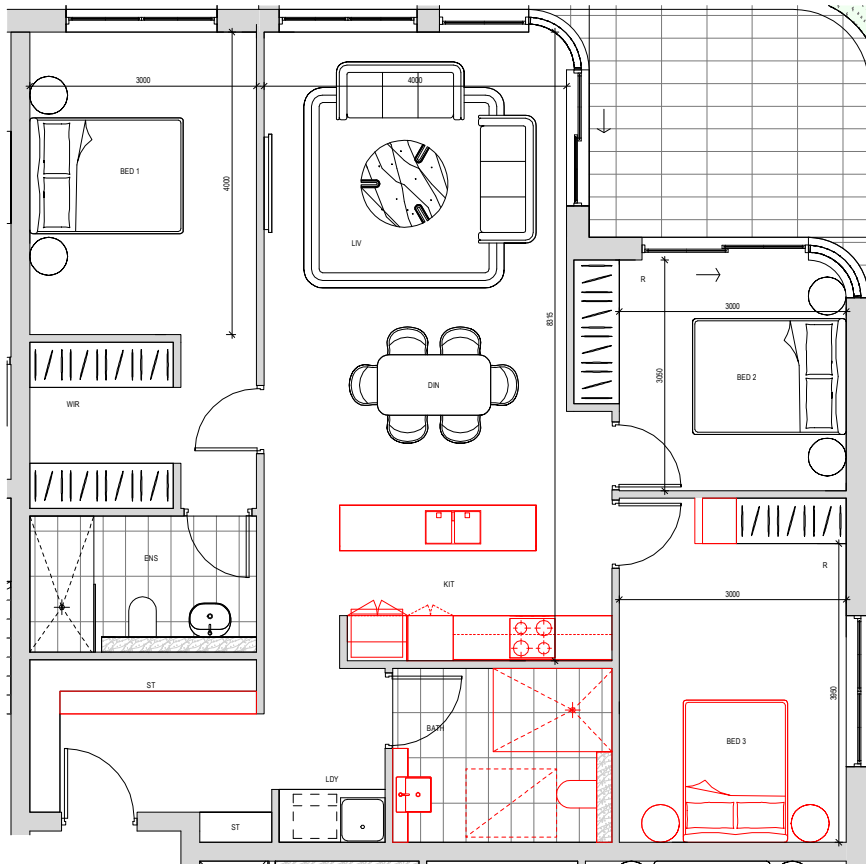
Job no.	Drawing no.	Rev.
J23589D	DA 5002	A

Drawn by	Checked by	Approved by	Date
SP	RJ	ZC	SEP. 2023



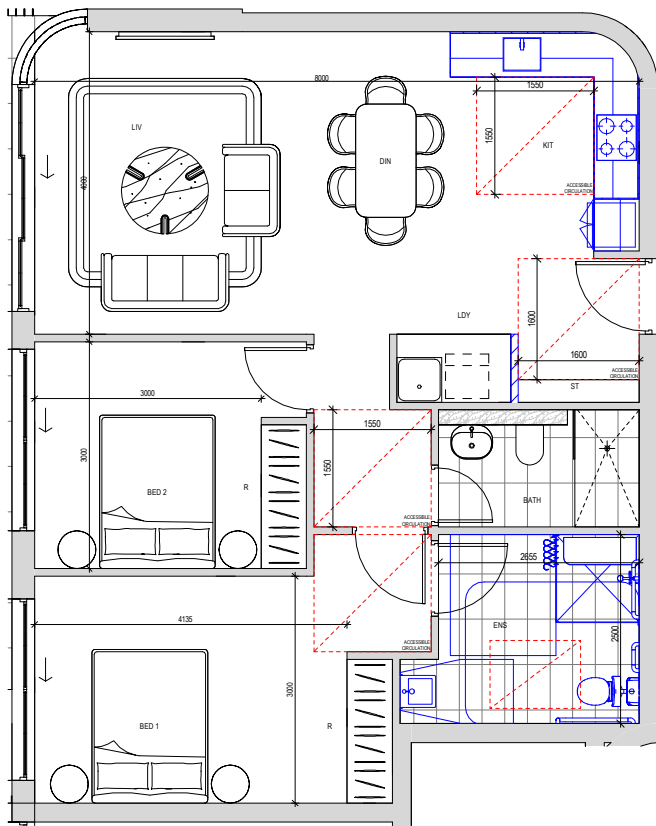
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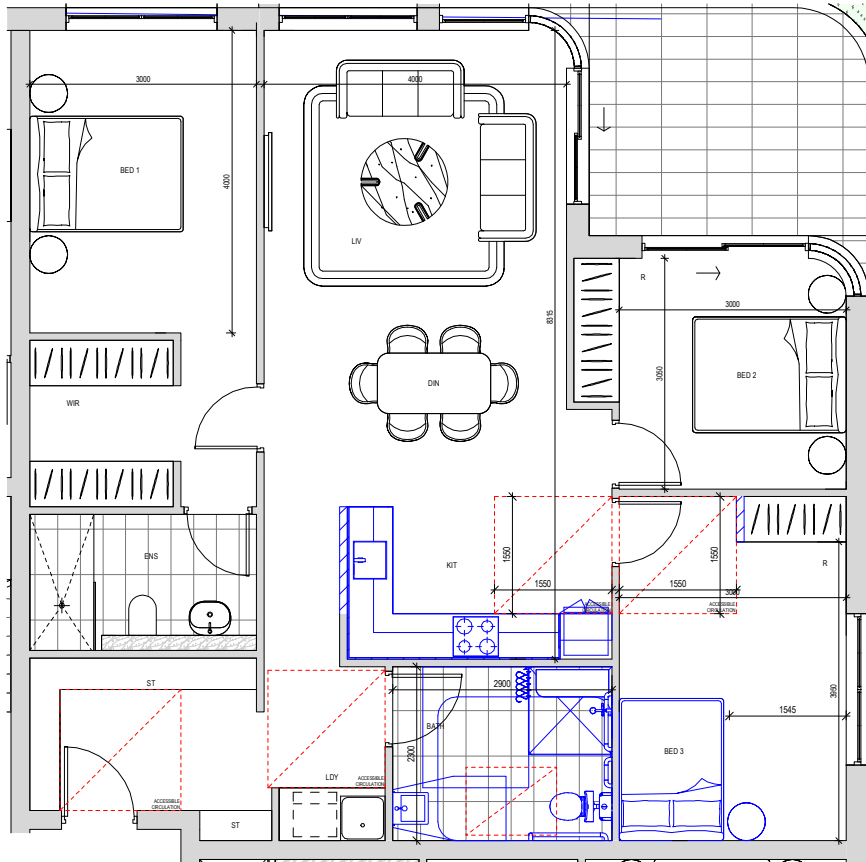
3 U112, U214, U314 & U412 - PRE ADAPTABLE

1 : 50 at A1 1:100 at A3



2 UG10 - POST ADAPTABLE

1 : 50 at A1 1:100 at A3



4 U112, U214, U314 & U412 - POST ADAPTABLE

1 : 50 at A1 1:100 at A3

GENERAL			
1. ALL ADAPTABLE BALCONIES SHALL BE PROVIDED WITH 35mm STEP FROM INSIDE TO BALCONIES TO ENSURE SMOOTH TRANSITION.			
2. GENERAL PLUMBER TO PROVIDE EXTRA CAPPED-OFF SERVICES TO ALLOW FOR THE RELOCATION OF SANITARY FIXTURES.			
3. IN ACCESSIBLE SOLE OCCUPANCY UNITS, THE LIGHT SWITCHES SHALL BE 30x30mm MIN. SIZE AT A HEIGHT TO MATCH THE DOOR HANDLES. GPOs SHALL BE LOCATED BETWEEN 600mm AND 1100mm ABOVE THE FLOOR AND 500mm FROM AN INTERNAL CORNER.			
LIVING AND DINING ROOM			
1. POTENTIAL ILLUMINATION LEVEL MIN. 300LUX TO BE PROVIDED TO COMPLY WITH AS 4299.1995 CLAUSE 4.10			
2. TELEPHONE ADJACENT TO GPO TO BE PROVIDED TO COMPLY WITH AS 4299.1995 CLAUSE 4.7.4			
KITCHEN			
1. ALL POST ADAPTATION KITCHEN APPLIANCES SHALL BE INSTALLED AS PER AS4299.1995. ENSURE COOK TOP AND WALL MOUNTED OVEN HAVE 800mm BENCH SPACE ADJACENT.			
2. PROVIDE WALL MOUNTED OVEN FOR ADAPTABLE UNITS.			
3. COOKTOPS TO INCLUDE ISOLATING SWITCH TO COMPLY WITH AS 4299.1995 CLAUSE 4.5.7.			
4. GPOs TO COMPLY WITH AS 4299.1995 CLAUSE 4.5.11.			
5. SLIP RESISTANT FLOOR SURFACE TO BE PROVIDED TO COMPLY WITH AS 4299.1995 CLAUSE 4.5.4.			
BATHROOM			
1. ALL BATHROOMS SHALL HAVE NO HOBBS TO SHOWER. ENSURE MIN. 1160mm x 1000mm SHOWER ZONE. INSTALL ACCESSIBLE TOILET, BASIN GRABRAILS AND SHOWER SEATS AS PER AS1428.1-2009. ENSURE ALL PRE-ADAPTATION SERVICES ARE SEALED.			
2. SLIP RESISTANT FLOOR SURFACE TO BE PROVIDED TO COMPLY WITH AS 4299.1995 CLAUSE 4.4.2.			
3. SHOWER RECESS - NO HOB. MIN. SIZE 1160 x 1100mm TO COMPLY WITH AS 4299.1995 CLAUSE 4.4.4.1.			
4. SHOWER ARE WATERPROOFED TO AS3740 WITH FLOOR TO FALL WASTE SLIP RESISTANT SLIP SURFACE TO BE PROVIDED TO COMPLY WITH AS 4299.1995 CLAUSE 4.4.4.1.			
5. IS RECESSED SOAP HOLDER IS NOT PROVIDED A HEAVY DUTY LOAD BEARING SOAP HOLDER WILL BE REQUIRED SLIP RESISTANT FLOOR SURFACE TO BE PROVIDED TO COMPLY WITH AS 4299.1995 CLAUSE 4.4.4.1.			
6. SHOWER TAPS TO BE POSITIONED FOR EASY REACH TO ACCESS SIDE OF SHOWER SLIDING TRACK SLIP RESISTANT FLOOR SURFACE TO BE PROVIDED TO COMPLY WITH AS 4299.1995 CLAUSE 4.4.4.1.			
7. PROVISION FOR ADJUSTABLE, DETACHABLE HAND HELD SHOWER ROSE MOUNTED ON A SLIDER GRABRAIL OR FIXED HOOK PLUMBING AND PROVIDE REINFORCEMENT TO WALL TO TAKE THE GRABRAILS UNLESS BRICK WALLS HAVE BEEN PROVIDED, TO COMPLY WITH AS 4299.1995 CLAUSE 4.4.4.1.			
8. GRABRAIL IN SHOWER TO BE PROVIDED TO COMPLY WITH AS 1428.1 AS PER AS 4299.1995 CLAUSE 4.4.4.1.			
9. PROVISION FOR WASHIN WITH CLEARANCES TO COMPLY WITH AS1428.11. 425mm IS REQUIRED FROM THE SIDE OF THE WALL TO THE CENTRE LINE OF THE BASIN. BASIN IS REQUIRED TO BE AT LEAST 300mm AWAY FROM THE DOOR SWING. TO COMPLY WITH AS 4299.1995 CLAUSE 4.4.4.1.			
10. GPO BEDSIDE MIRROR TO BE PROVIDED, TO COMPLY WITH AS 4299.1995 CLAUSE 4.4.4.4.			
11. LOCATION OF WC PAN AT CORRECT DISTANCE FROM WALL 450mm/60mm IS REQUIRED FROM THE SIDE WALL TO THE CENTRE LINE OF THE WC PAN, TO COMPLY WITH AS 4299.1995 CLAUSE 4.4.3.			
12. PROVISION FOR GRABRAIL ZONE. REINFORCEMENT TO WALL TO TAKE THE GRABRAILS UNLESS BRICK WALLS HAVE BEEN PROVIDED, TO COMPLY WITH AS 4299.1995 CLAUSE 4.4.4.1.			
13. SLIP RESISTANT FLOOR SURFACE (VITREOUS TILES OR SIMILAR) TO BE PROVIDED, TO COMPLY WITH AS 4299.1995 CLAUSE 4.4.2.			
LAUNDRY			
1. LAUNDRY-COMBINED WASHER/DRYER UNITS TO BE INSTALLED TO ADAPTABLE UNITS IF REQUIRED AS PART OF ADAPTATION CHANGE.			
2. DOUBLE GPO TO BE PROVIDED, TO COMPLY WITH AS 4299.1995 CLAUSE 4.8a.			
3. SLIP RESISTANT SURFACE TO BE PROVIDED, TO COMPLY WITH AS 4299.1995 CLAUSE 4.8.1.			

REFERENCES

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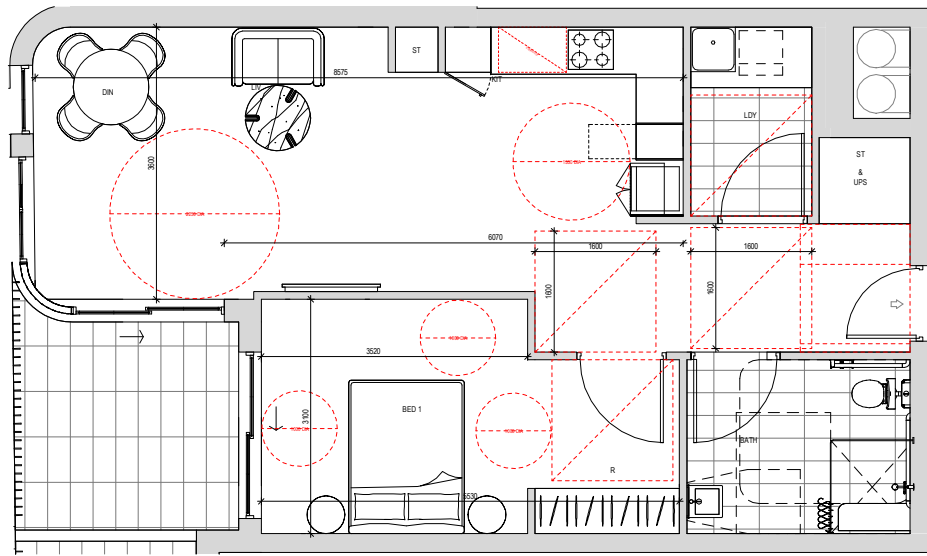
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Rev.	Date	Description
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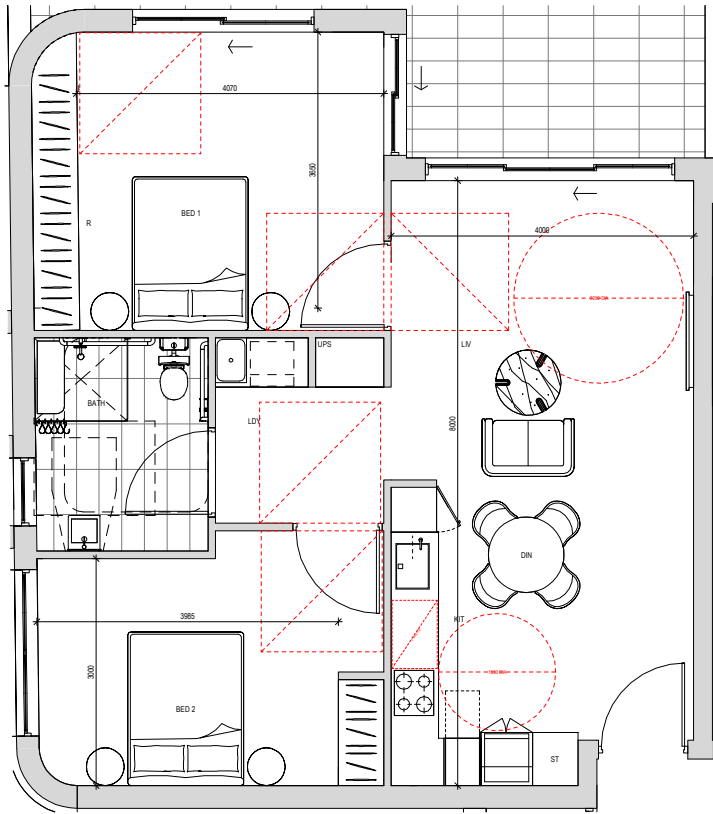
Project
PROPOSED MIXED USE DEVELOPMENT
691- 695 Victoria Road, Ryde
Drawing Title

PRE + POST ADAPTABLE UNIT LAYOUT - BUILDING B			
DA SUBMISSION			
Job no.	Drawing no.	Rev.	
J23589D	DA 5003	A	
Drawn by	Checked by	Approved by	Date
SP	RJ	ZC	SEP. 2023



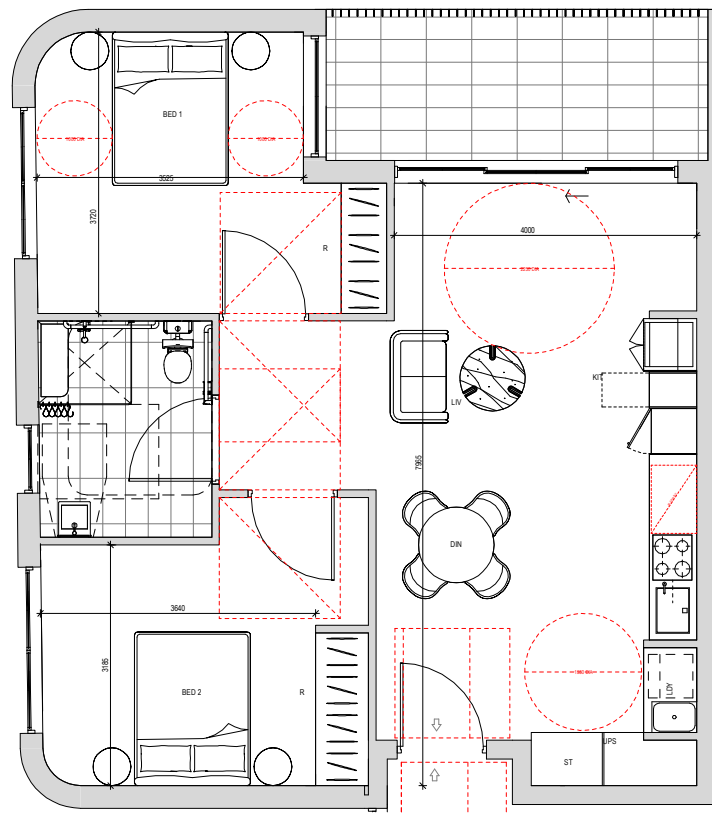
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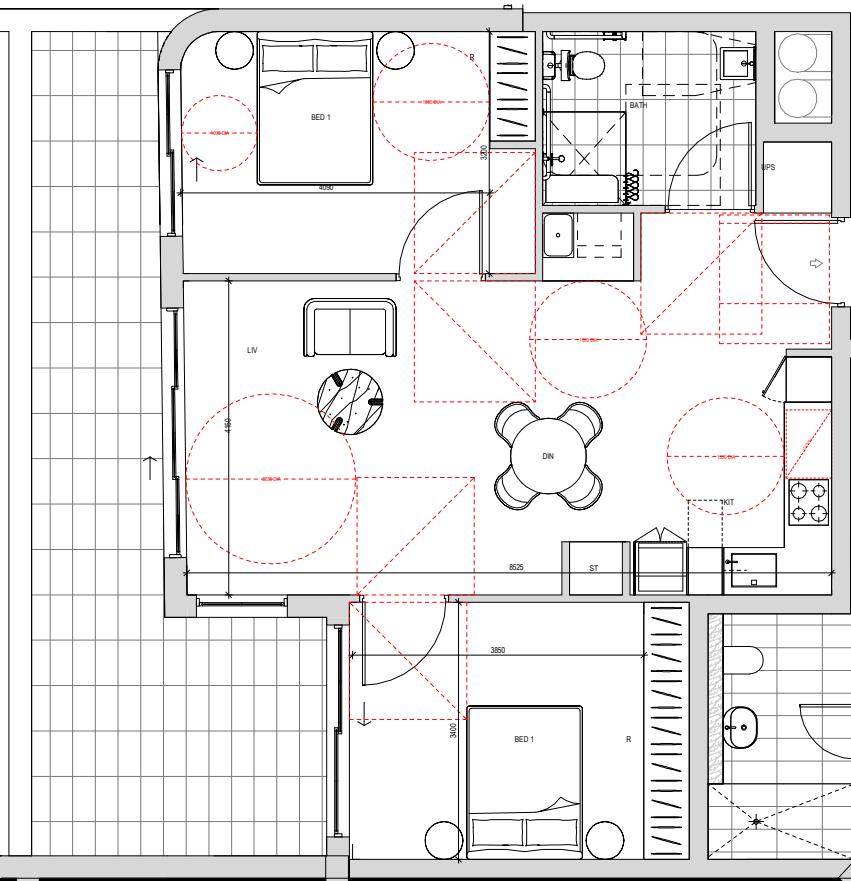
2 U420 & U520 - SDA

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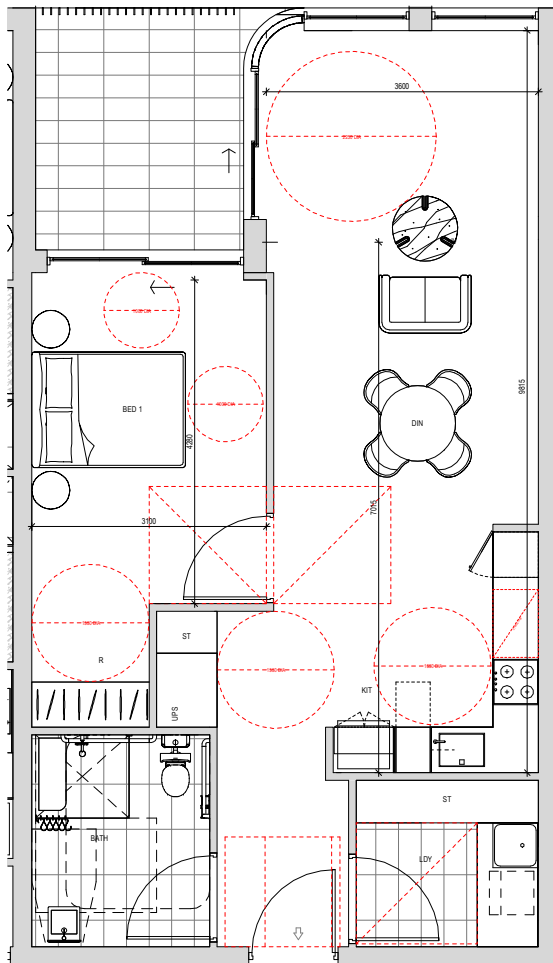
5 U620 & U710 - SDA

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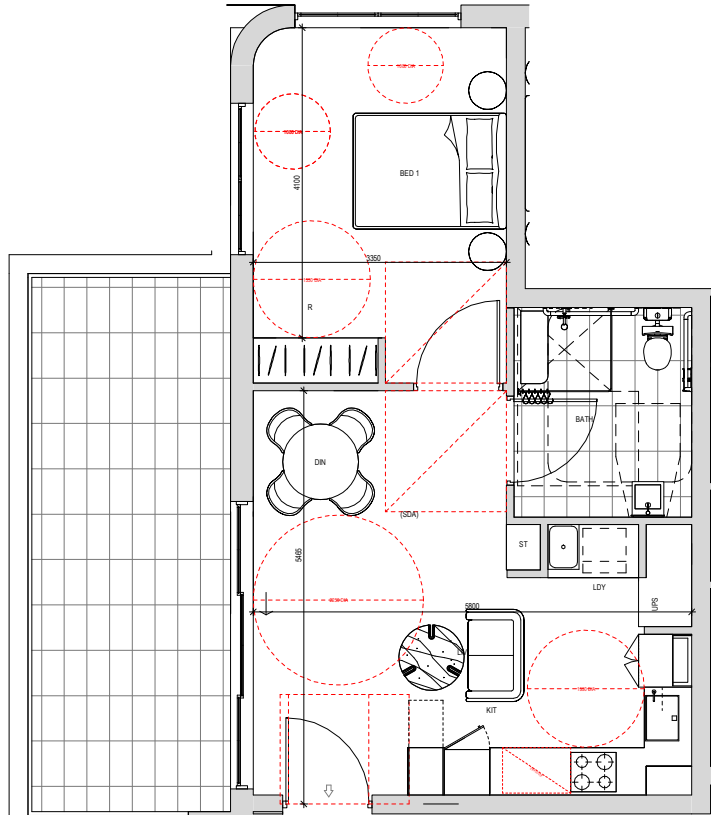
4 U625 - SDA

1: 50 at A1 1:100 at A3



3 U323 - SDA

1: 50 at A1 1:100 at A3



6 U801 - SDA

1: 50 at A1 1:100 at A3

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 3. IN ACCESSIBLE SOLE OCCUPANCY UNITS, THE LIGHT SWITCHES SHALL BE 30x30mm MIN. SIZE AT A HEIGHT TO MATCH THE DOOR HANDLES. GPOs SHALL BE LOCATED BETWEEN 600mm AND 1100mm ABOVE THE FLOOR AND 500mm FROM AN INTERNAL CORNER.
- LIVING AND DINING ROOM**
1. POTENTIAL ILLUMINATION LEVEL MIN. 300LUX TO BE PROVIDED TO COMPLY WITH AS 4299.1995 CLAUSE 4.10.
 2. TELEPHONE ADJACENT TO GPO TO BE PROVIDED TO COMPLY WITH AS 4299.1995 CLAUSE 4.7.4.
- KITCHEN**
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 2. PROVIDE WALL MOUNTED OVEN FOR ADAPTABLE UNITS.
 3. COOKTOPS TO INCLUDE ISOLATING SWITCH TO COMPLY WITH AS 4299.1995 CLAUSE 4.5.7.
 4. GPOs TO COMPLY WITH AS 4299.1995 CLAUSE 4.5.11.
 5. SLIP RESISTANT FLOOR SURFACE TO BE PROVIDED TO COMPLY WITH AS 4299.1995 CLAUSE 4.5.4.
- BATHROOM**
1. ALL BATHROOMS SHALL HAVE NO HOBBS TO SHOWER. ENSURE MIN. 1160mm x 1000mm SHOWER ZONE. INSTALL ACCESSIBLE TOILET, BASIN GRABRAILS AND SHOWER SEATS AS PER AS 1428.1-2009. ENSURE ALL PRE-ADAPTION SERVICES ARE SEALED.
 2. SLIP RESISTANT FLOOR SURFACE TO BE PROVIDED TO COMPLY WITH AS 4299.1995 CLAUSE 4.4.2.
 3. SHOWER RECESS - NO HOB. MIN. SIZE 1160 x 1100mm TO COMPLY WITH AS 4299.1995 CLAUSE 4.4.4 f.
 4. SHOWER ARE WATERPROOFED TO AS 3740 WITH FLOOR TO FALL WASTE SLIP RESISTANT SLIP SURFACE TO BE PROVIDED TO COMPLY WITH AS 4299.1995 CLAUSE 4.4.4 f.
 5. IS RECESSED SOAP HOLDER IS NOT PROVIDED A HEAVY DUTY LOAD BEARING SOAP HOLDER WILL BE REQUIRED SLIP RESISTANT FLOOR SURFACE TO BE PROVIDED TO COMPLY WITH AS 4299.1995 CLAUSE 4.4.4 f.
 6. SHOWER TAPS TO BE POSITIONED FOR EASY REACH TO ACCESS SIDE OF SHOWER SLIDING TRACK SLIP RESISTANT FLOOR SURFACE TO BE PROVIDED TO COMPLY WITH AS 4299.1995 CLAUSE 4.4.4 f.
 7. PROVISION FOR ADJUSTABLE, DETACHABLE HAND HELD SHOWER ROSE MOUNTED ON A SLIDER GRABRAIL OR FIXED HOOK PLUMBING AND PROVIDE REINFORCEMENT TO WALL TO TAKE THE GRABRAILS UNLESS BRICK WALLS HAVE BEEN PROVIDED, TO COMPLY WITH AS 4299.1995 CLAUSE 4.4.4 h.
 8. GRABRAIL IN SHOWER TO BE PROVIDED TO COMPLY WITH AS 1428.1 AS PER AS 4299.1995 CLAUSE 4.4.4 h.
 9. PROVISION FOR WASHIN WITH CLEARANCES TO COMPLY WITH AS 1428.11. 425mm IS REQUIRED FROM THE SIDE OF THE WALL TO THE CENTRE LINE OF THE BASIN. BASIN IS REQUIRED TO BE AT LEAST 300mm AWAY FROM THE DOOR SWING. TO COMPLY WITH AS 4299.1995 CLAUSE 4.4.4 g.
 10. GPO BEDSIDE MIRROR TO BE PROVIDED, TO COMPLY WITH AS 4299.1995 CLAUSE 4.4.4 d.
 11. LOCATION OF WC PAN AT CORRECT DISTANCE FROM WALL 450mm/60mm IS REQUIRED FROM THE SIDE WALL TO THE CENTRE LINE OF THE WC PAN, TO COMPLY WITH AS 4299.1995 CLAUSE 4.4.3.
 12. PROVISION FOR GRABRAIL ZONE. REINFORCEMENT TO WALL TO TAKE THE GRABRAILS UNLESS BRICK WALLS HAVE BEEN PROVIDED, TO COMPLY WITH AS 4299.1995 CLAUSE 4.4.4 h.
 13. SLIP RESISTANT FLOOR SURFACE (VITREOUS TILES OR SIMILAR) TO BE PROVIDED, TO COMPLY WITH AS 4299.1995 CLAUSE 4.4.2.
- LAUNDRY**
1. LAUNDRY-COMBINED WASHER/DRYER UNITS TO BE INSTALLED TO ADAPTABLE UNITS IF REQUIRED AS PART OF ADAPTION CHANGE.
 2. DOUBLE GPO TO BE PROVIDED, TO COMPLY WITH AS 4299.1995 CLAUSE 4.8e.
 3. SLIP RESISTANT SURFACE TO BE PROVIDED, TO COMPLY WITH AS 4299.1995 CLAUSE 4.9.1.

REFERENCES

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Rev. Date Description

Scale
m 0 0.5 1 2 3 4
1:50 at A1 1:100 at A3

Project Architect

DDA
CDARCHITECTS

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Nominated Architect: Lijana Ermliova 7887, ABN 24 243 205 327



Project

PROPOSED MIXED USE DEVELOPMENT

691- 695 Victoria
Road, Ryde

Drawing Title

SDA UNIT LAYOUT - BUILDING C

DA SUBMISSION

Job no. Drawing no. Rev.

J23589D DA 5004 A

Drawn by SP Checked by RJ Approved by ZC Date SEP. 2023



2 SHADOW DIAGRAM JUNE 21 12PM

1 : 1000 at A1 1:2000 at A3



3 SHADOW DIAGRAM JUNE 21 3PM

1 : 1000 at A1 1:2000 at A3



1 SHADOW DIAGRAM JUNE 21 9AM

1 : 1000 at A1 1:2000 at A3

REFERENCES

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SHADOW DIAGRAM LEGEND

	SHADOWS CAST BY EXISTING BUILDING
	SHADOWS CAST BY EXISTING NEIGHBOUR
	SHADOWS CAST BY PROPOSED BUILDING

A	27.11.2023	DA SUBMISSION
Rev.	Date	Description
Scale	0 10 20 40 60 80	
m	1:1000 at A1	1:2000 at A3

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Project
PROPOSED MIXED USE DEVELOPMENT

691- 695 Victoria
Road, Ryde
Drawing Title

SHADOW DIAGRAMS

DA SUBMISSION			
Job no.	Drawing no.	Rev.	
J23589D	DA 6001	A	
Drawn by	Checked by	Approved by	Date
SP	RJ	ZC	SEP. 2023

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Road, Ryde

Drawing Title

SUN ANGLE VIEWS 9AM - 21 JUNE

DA SUBMISSION

Job no.	Drawing no.	Rev.
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J23589D DA 6021 A

Drawn by	Checked by	Approved by	Date
SP	RJ	ZC	SEP. 2023

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1 SUN EYE VIEW JUNE 21 - 10AM

A	27.11.2023	DA SUBMISSION
Rev.	Date	Description

Project Architect

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W: www.cdarchitects.com.au

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Nominated Architect: Liljana Ermiлова 7887, ABN 24 243 205 327



Project
PROPOSED MIXED USE DEVELOPMENT

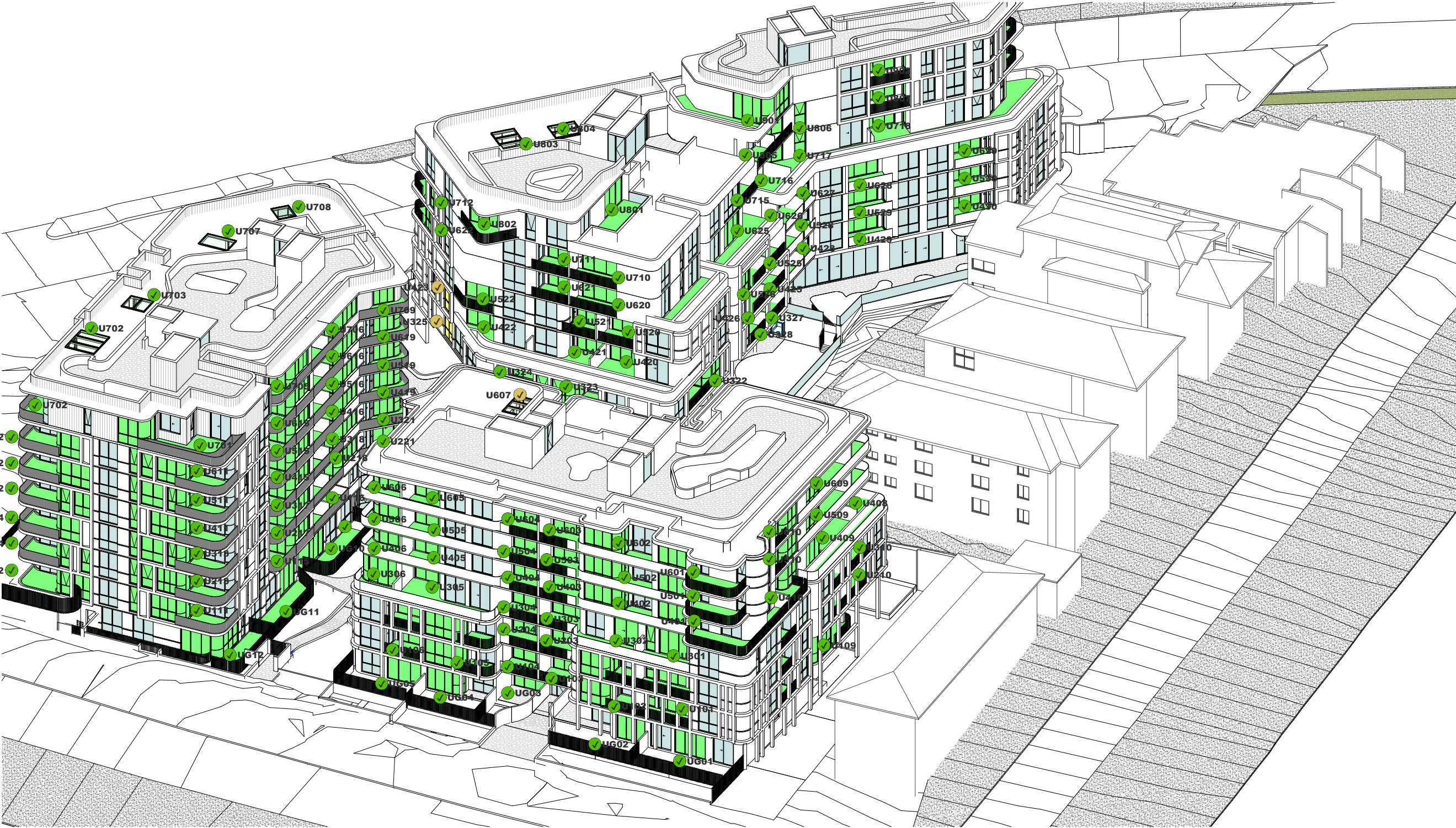
691- 695 Victoria
Road, Ryde

Drawing Title

SUN ANGLE VIEWS 10AM - 21 JUNE

DA SUBMISSION

Job no.	Drawing no.	Rev.	
J23589D	DA 6022	A	
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1 SUN EYE VIEW JUNE 21 - 11AM

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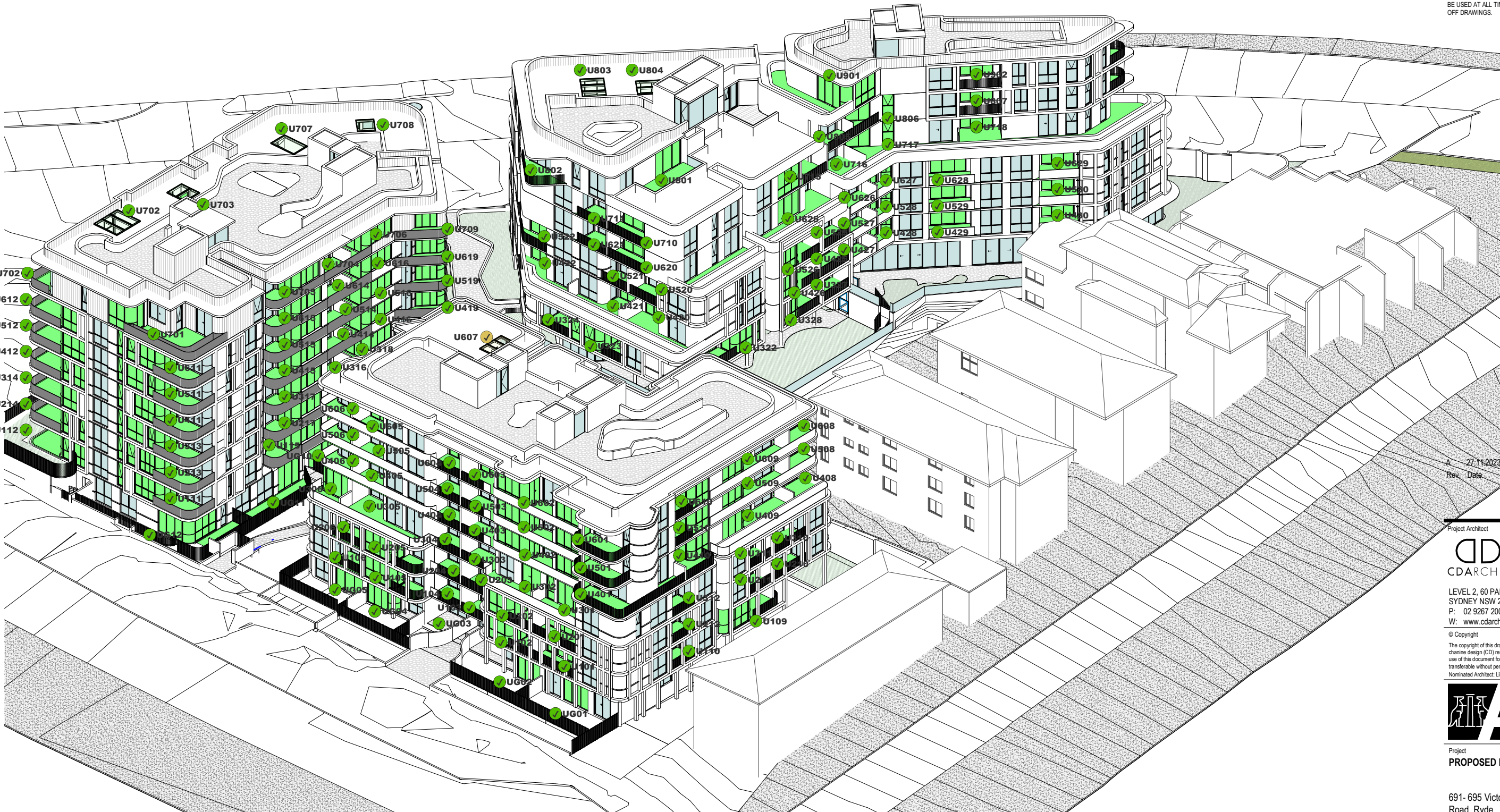


Project
PROPOSED MIXED USE DEVELOPMENT

691- 695 Victoria
Road, Ryde
Drawing Title

SUN ANGLE VIEWS 11AM - 21 JUNE

DA SUBMISSION			
Job no.	Drawing no.	Rev.	
J23589D	DA 6023	A	
Drawn by	Checked by	Approved by	Date
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1 SUN EYE VIEW JUNE 21 - 12PM

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PROPOSED MIXED USE DEVELOPMENT

691- 695 Victoria
Road, Ryde
Drawing Title

SUN ANGLE VIEWS 12PM - 21 JUNE

DA SUBMISSION

Job no.	Drawing no.	Rev.
J23589D	DA 6024	A
Drawn by SP	Checked by RJ	Approved by ZC
		Date SEP. 2023

REFERENCES

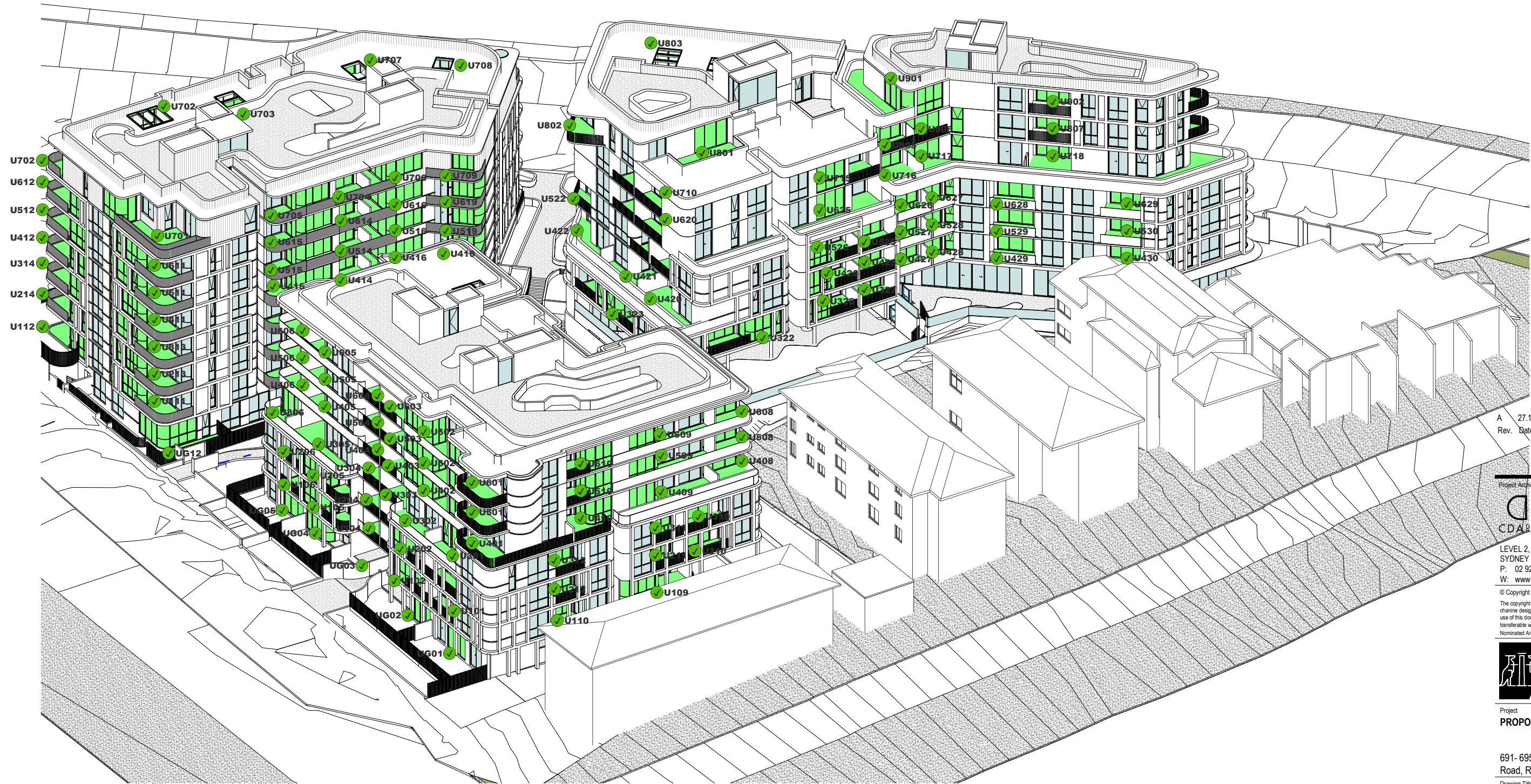
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Project
PROPOSED MIXED USE DEVELOPMENT

691- 695 Victoria
Road, Ryde
Drawing Title

SUN ANGLE VIEWS 1PM - 21 JUNE

DA SUBMISSION

Job no.	Drawing no.	Rev.
J23589D	DA 6025	A
Drawn by SP	Checked by RJ	Approved by ZC
		Date SEP. 2023

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	27.11.2023	DA SUBMISSION

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Project
PROPOSED MIXED USE DEVELOPMENT

691- 695 Victoria
Road, Ryde

Drawing Title

SUN ANGLE VIEWS 2PM - 21 JUNE

DA SUBMISSION

Job no.	Drawing no.	Rev.
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J23589D DA 6026 A

Drawn by	Checked by	Approved by	Date
SP	RJ	ZC	SEP. 2023

1 SUN EYE VIEW JUNE 21 - 2PM



1 SUN EYE VIEW JUNE 21 - 3PM

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Project

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691- 695 Victoria
Road, Ryde

Drawing Title

SUN ANGLE VIEWS 3PM - 21 JUNE

DA SUBMISSION

Job no. Drawing no. Rev.

J23589D DA 6027 A

Drawn by Checked by Approved by Date
SP RJ ZC SEP. 2023

SOLAR SCHEDULE - BUILDING A							
UNIT NUMBER	09:00 LIV / BAL	10:00 LIV / BAL	11:00 LIV / BAL	12:00 LIV / BAL	13:00 LIV / BAL	14:00 LIV / BAL	15:00 LIV / BAL
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TOTAL APARTMENTS: 72

DIRECT SUN VIEW LEGEND

TOTAL NUMBER OF UNITS	TARGET COMPLIANCE REQUIRED	PROPOSED UNITS RECEIVING OVER 2 HOURS SOLAR ACCESS ON JUNE 21st BETWEEN 9am-3pm	PROPOSED UNITS RECEIVING NO DIRECT SUNLIGHT ON JUNE 21st BETWEEN 9am-3pm
194 UNITS	135.8 UNITS (70%)	142 UNITS (73.1%)	27 UNITS (13.9%)
<div>UNIT NUMBER</div> <div>↑ PROPOSED UNIT NUMBER RECEIVING DIRECT SOLAR ACCESS AT THE SPECIFIC SUN ANGLE VIEWS</div>	<div>UNIT NUMBER</div> <div>↑ PROPOSED UNIT NUMBER RECEIVING LESS THAN 2 HOURS DIRECT SOLAR ACCESS AT THE SPECIFIC SUN ANGLE VIEWS</div>		
<div></div> <div>LIVING RECEIVING DIRECT SOLAR ACCESS ON JUNE 21st AT SPECIFIC TIME</div>			
<div></div> <div>LIVING RECEIVING NO DIRECT SOLAR ACCESS ON JUNE 21st AT SPECIFIC TIME</div>			
<div></div> <div>APARTMENT RECEIVING DIRECT SOLAR ACCESS ON JUNE 21st AT SPECIFIC TIME</div>			

REFERENCES

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Rev.	Date	Description

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Project

PROPOSED MIXED USE DEVELOPMENT

691- 695 Victoria
Road, Ryde

Drawing Title

SOLAR SCHEDULE 1

DA SUBMISSION			
Job no.	Drawing no.	Rev.	
J23589D	DA 6028	A	
Drawn by SP	Checked by RJ	Approved by ZC	Date SEP. 2023

SOLAR SCHEDULE - BUILDING B							
UNIT NUMBER	09:00 LIV / BAL	10:00 LIV / BAL	11:00 LIV / BAL	12:00 LIV / BAL	13:00 LIV / BAL	14:00 LIV / BAL	15:00 LIV / BAL
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U213	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>
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U618	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>
U619	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>
U701	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>
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U704	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>
U705	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>
U706	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>
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U709	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>

TOTAL APARTMENTS: 65

SOLAR SCHEDULE - BUILDING C							
UNIT NUMBER	09:00 LIV / BAL	10:00 LIV / BAL	11:00 LIV / BAL	12:00 LIV / BAL	13:00 LIV / BAL	14:00 LIV / BAL	15:00 LIV / BAL
U322	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>
U323	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>
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U326	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>
U327	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>
U328	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>
U420	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>
U421	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>
U422	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>
U423	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>
U424	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>
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U428	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>
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U520	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>
U521	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>
U522	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>
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U530	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>

SOLAR SCHEDULE - BUILDING C							
UNIT NUMBER	09:00 LIV / BAL	10:00 LIV / BAL	11:00 LIV / BAL	12:00 LIV / BAL	13:00 LIV / BAL	14:00 LIV / BAL	15:00 LIV / BAL
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U621	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>
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U623	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>
U624	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>
U625	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>
U626	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>
U627	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>
U628	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>
U629	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>
U710	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>
U711	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>
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U714	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>
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U807	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>
U901	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>
U902	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>	<div></div>

TOTAL APARTMENTS: 57

DIRECT SUN VIEW LEGEND

TOTAL NUMBER OF UNITS	TARGET COMPLIANCE REQUIRED	PROPOSED UNITS RECEIVING OVER 2 HOURS SOLAR ACCESS ON JUNE 21st BETWEEN 9am-3pm	PROPOSED UNITS RECEIVING NO DIRECT SUNLIGHT ON JUNE 21st BETWEEN 9am-3pm
194 UNITS	135.8 UNITS (70%)	142 UNITS (73.1%)	27 UNITS (13.9%)
<div></div> UNIT NUMBER ↑ PROPOSED UNIT NUMBER RECEIVING DIRECT SOLAR ACCESS AT THE SPECIFIC SUN ANGLE VIEWS		<div></div> UNIT NUMBER ↑ PROPOSED UNIT NUMBER RECEIVING LESS THAN 2 HOURS DIRECT SOLAR ACCESS AT THE SPECIFIC SUN ANGLE VIEWS	
<div></div> LIVING RECEIVING DIRECT SOLAR ACCESS ON JUNE 21st AT SPECIFIC TIME			
<div></div> LIVING RECEIVING NO DIRECT SOLAR ACCESS ON JUNE 21st AT SPECIFIC TIME			
<div></div> APARTMENT RECEIVING DIRECT SOLAR ACCESS ON JUNE 21st AT SPECIFIC TIME			

REFERENCES

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REFER TO CURRENT BASIX REPORT FOR ADDITIONAL REQUIREMENTS TO ONES NOTED ON PLANS

NOTES

ALL DIMENSIONS AND SETOUTS ARE TO BE VERIFIED ON SITE AND ALL OMISSIONS OR ANY DISCREPANCIES TO BE NOTIFIED TO THE ARCHITECT. FIGURED DIMENSIONS TO BE USED AT ALL TIME. **DO NOT SCALE** MEASUREMENTS OFF DRAWINGS.

A 27.11.2023 DA SUBMISSION
Rev. Date Description

Project Architect

DDA

CDARCHITECTS

LEVEL 2, 60 PARK STREET
SYDNEY NSW 2000
P: 02 9267 2000
W: www.cdarchitects.com.au

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Nominated Architect: Lijana Ermilova 7887, ABN 24 243 205 327

Member
Australian
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Architects

Project
PROPOSED MIXED USE DEVELOPMENT

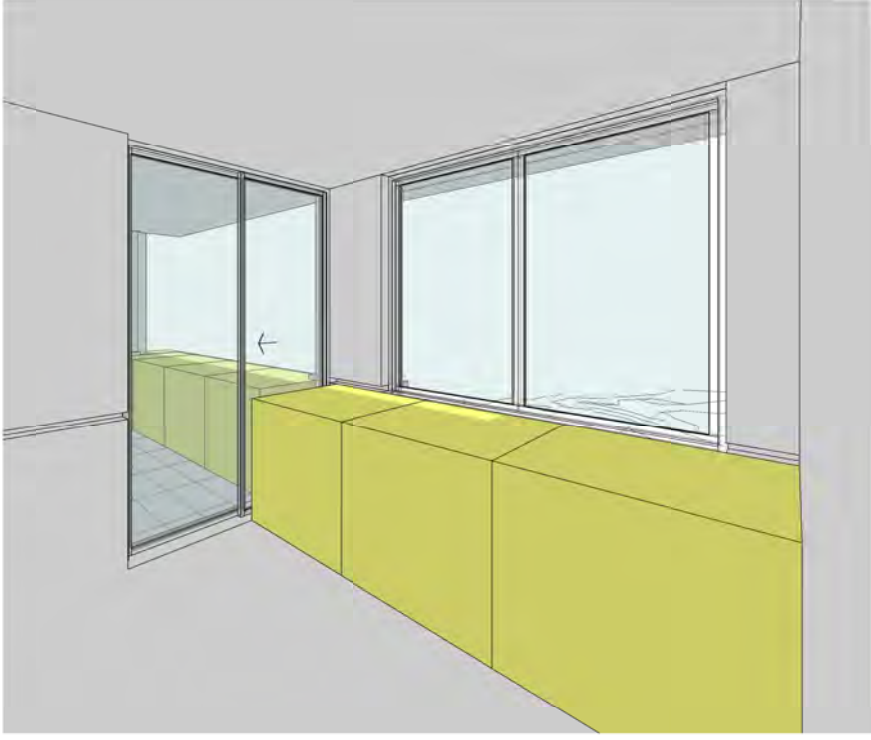
691- 695 Victoria
Road, Ryde

Drawing Title

SOLAR SCHEDULE 2

DA SUBMISSION

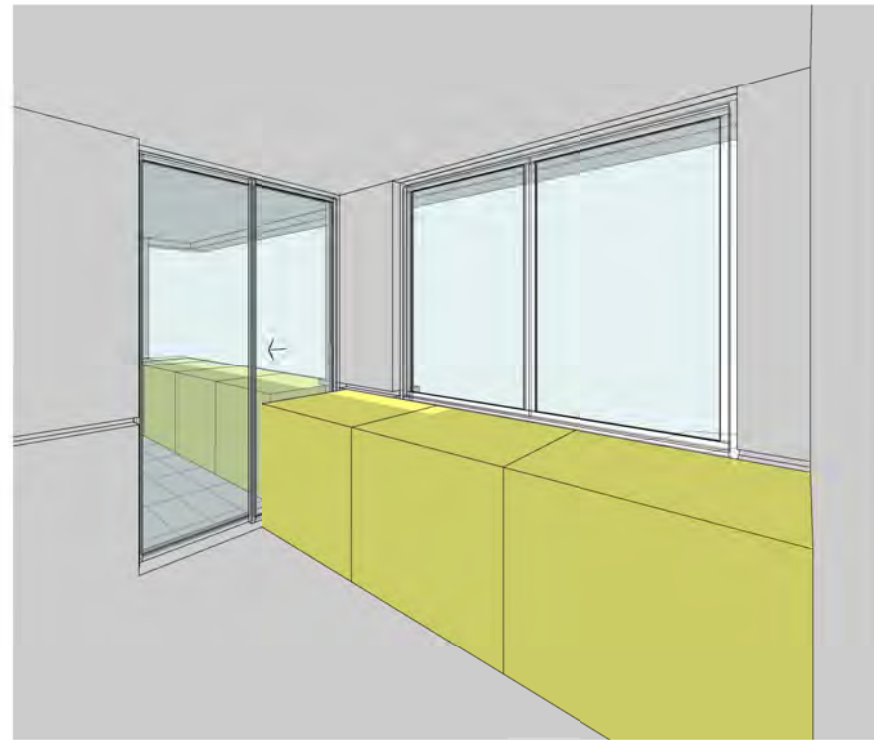
Job no.	Drawing no.	Rev.
J23589D	DA 6029	A
Drawn by SP	Checked by RJ	Approved by ZC
	Date SEP. 2023	



1 U113 - 9am SOLAR STUDY

2 U215 - 9am SOLAR STUDY

3 U315 - 9am SOLAR STUDY



4 U413 - 9am SOLAR STUDY

5 U513 - 9am SOLAR STUDY

6 U613 - 9am SOLAR STUDY

REFERENCES

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A	27.11.2023	DA SUBMISSION
Rev.	Date	Description

Project Architect

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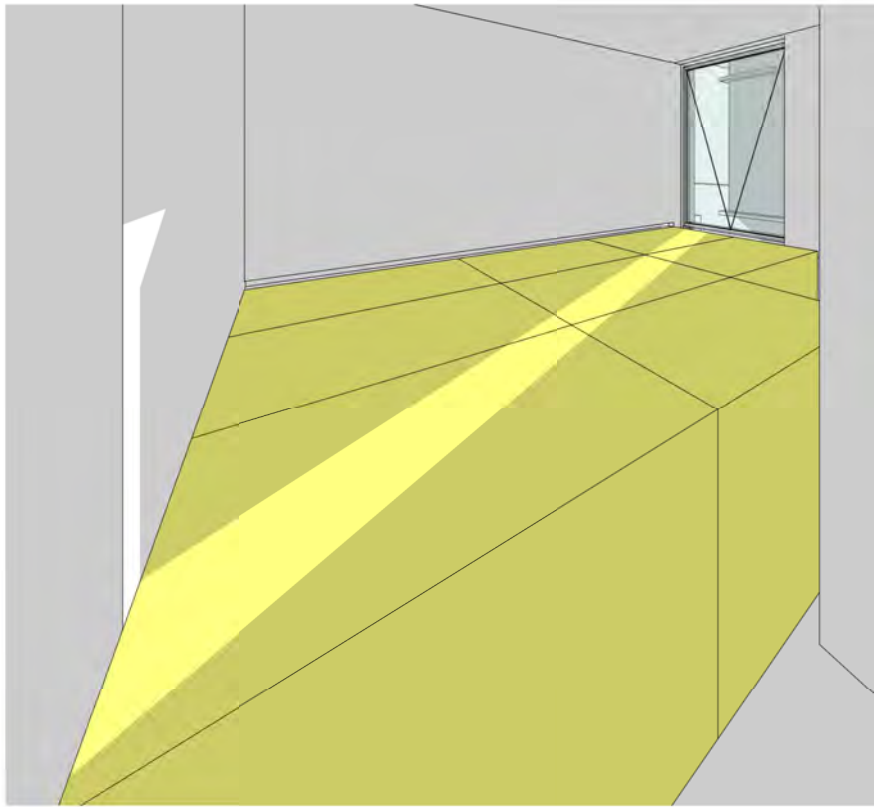
Project
PROPOSED MIXED USE DEVELOPMENT

691- 695 Victoria
Road, Ryde
Drawing Title

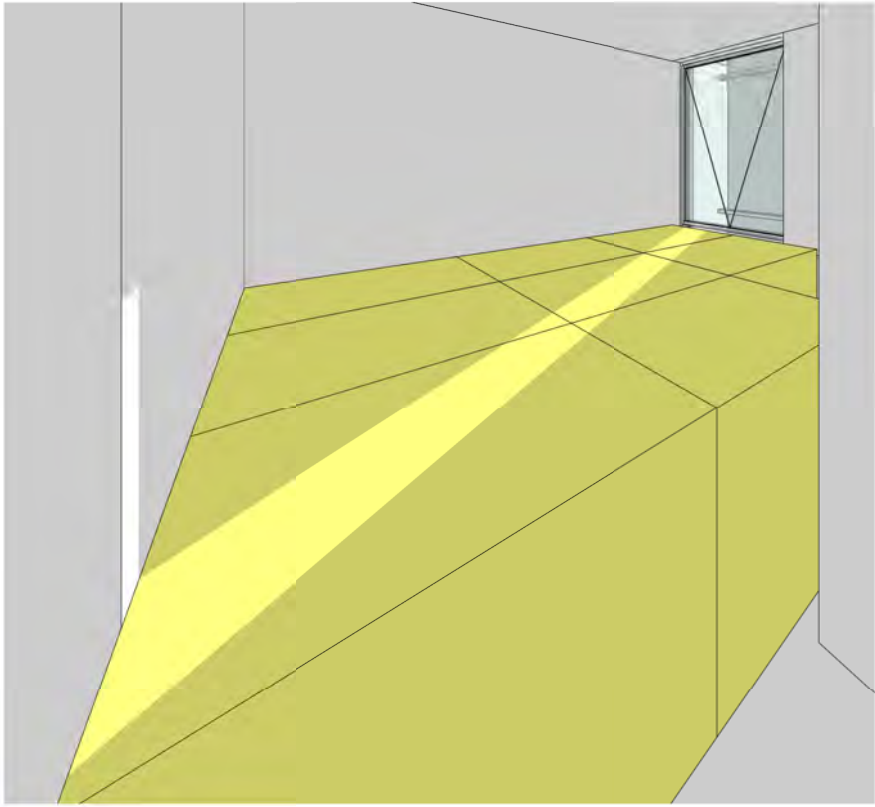
SOLAR ACCESS STUDY 1

DA SUBMISSION			
Job no.	Drawing no.	Rev.	
J23589D	DA 6031	A	
Drawn by	Checked by	Approved by	Date
SP	RJ	ZC	SEP. 2023

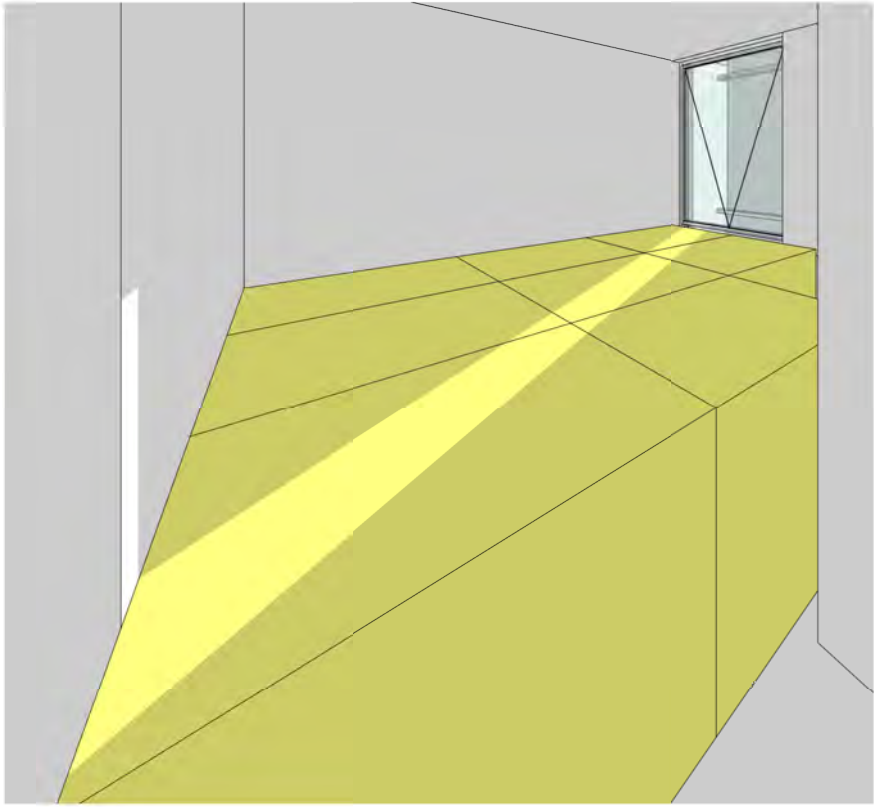
NOTE:
THIS SHEET DA6011 SHOWS HOW EAST FACING UNITS 113, 215, 315, 413, 513 & 613 RECEIVE DIRECT SUNLIGHT AT **9.00AM**.



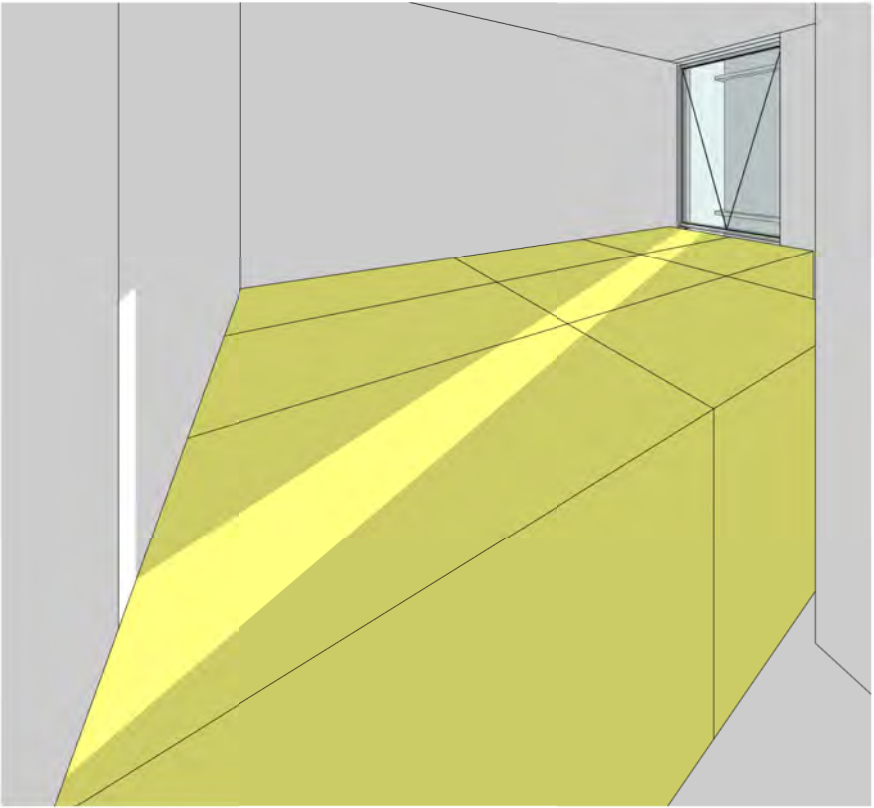
1 U220 - 3pm SOLAR STUDY



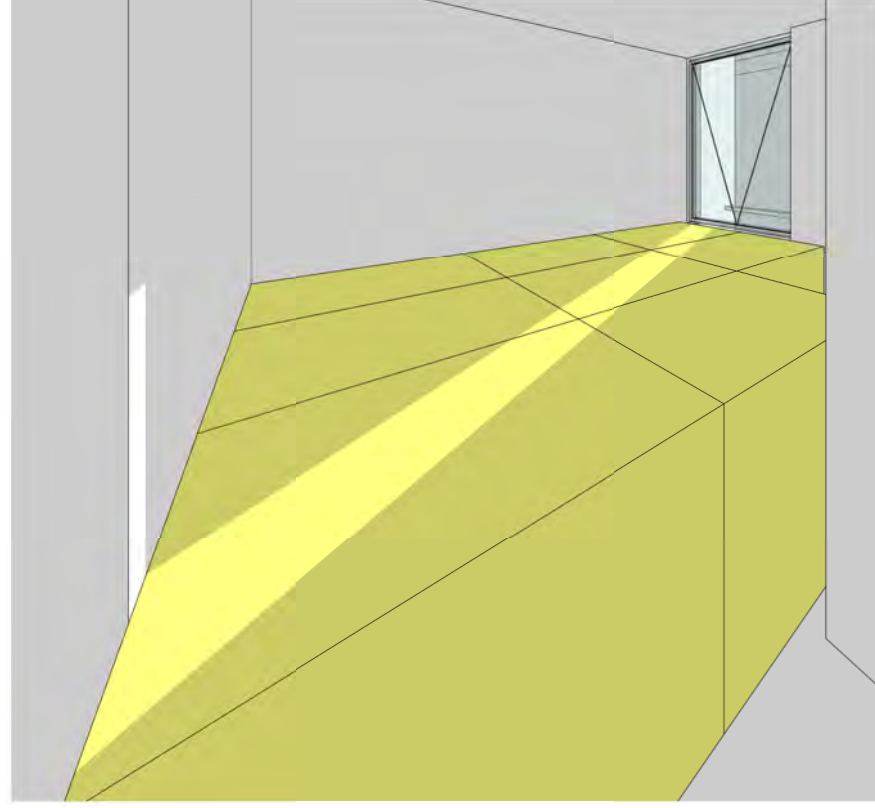
2 U320 - 3pm SOLAR STUDY



3 U418 - 3pm SOLAR STUDY



4 U518 - 3pm SOLAR STUDY



5 U618 - 3pm SOLAR STUDY

REFERENCES

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Project
PROPOSED MIXED USE DEVELOPMENT

691- 695 Victoria
Road, Ryde

Drawing Title

SOLAR ACCESS STUDY 2

DA SUBMISSION

Job no.	Drawing no.	Rev.
J23589D	DA 6032	A
Drawn by SP	Checked by RJ	Approved by ZC
		Date SEP. 2023

NOTE:

THIS SHEET DA6012 SHOWS HOW SOUTH-EAST FACING UNITS 220, 320, 418, 518 & 618 RECEIVE DIRECT SUNLIGHT AT **3.00PM**.



1 CHILD CARE SUN EYE VIEW JUNE 21 - 8AM

SOLAR ACCESS TO THE CHILD CARE OUTDOOR AREA - JUNE 21

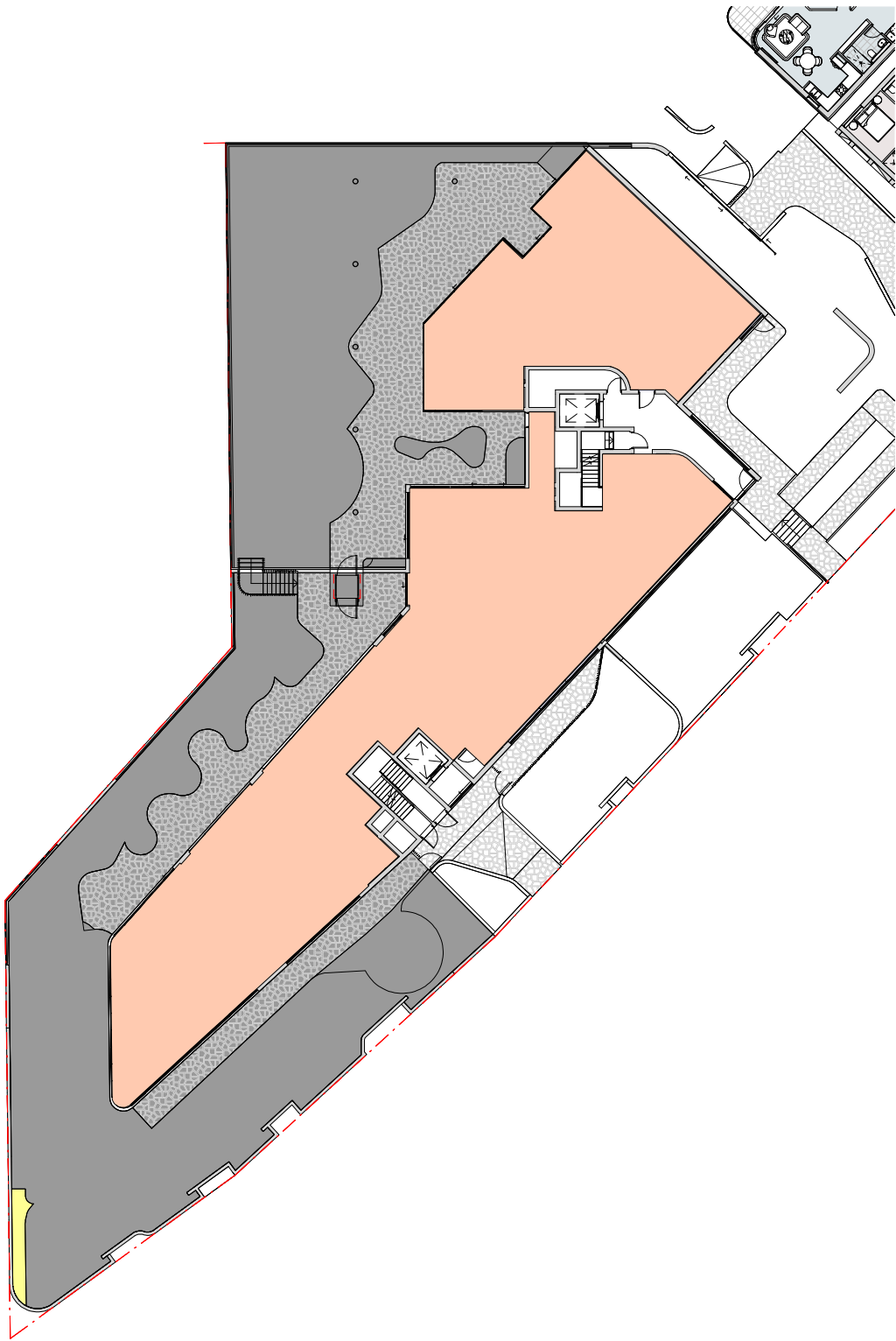
MINIMUM REQUIRED OUTDOOR AREA	840m ²
TARGET COMPLIANCE AREA REQUIRED	MINIMUM 2HRS OF SOLAR ACCESS TO 30% OF MINIMUM OUTDOOR AREA (BETWEEN 8AM - 4PM WINTER MONTHS)

MINIMUM REQUIRED OUTDOOR AREA TO RECEIVE SOLAR 252m²

OUTDOOR CHILD CARE AREA RECEIVING SOLAR

TIME	MINIMUM AREA REQUIRED	PROPOSED AREA	% OF THE MINIMUM AREA
8AM	252m ²	5.57m ²	0.6%
9AM	252m ²	126.29m ²	15%
10AM	252m ²	177.68m ²	21.2%
11AM	252m ²	195.06m ²	23.2%
12PM	252m ²	255.4m ²	30.4%
1PM	252m ²	257.28m ²	30.6%
2PM	252m ²	253.31m ²	30.1%
3PM	252m ²	171.49m ²	20.4%
4PM	252m ²	64.103m ²	7.6%

2 SOLAR ANALYSIS CHILD CARE OUTDOOR AREA GROUND LEVEL - JUNE 21 8AM



REFERENCES

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Rev.	Date	Description

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Nominated Architect: Lijana Ermilova 7887, ABN 24 243 205 327

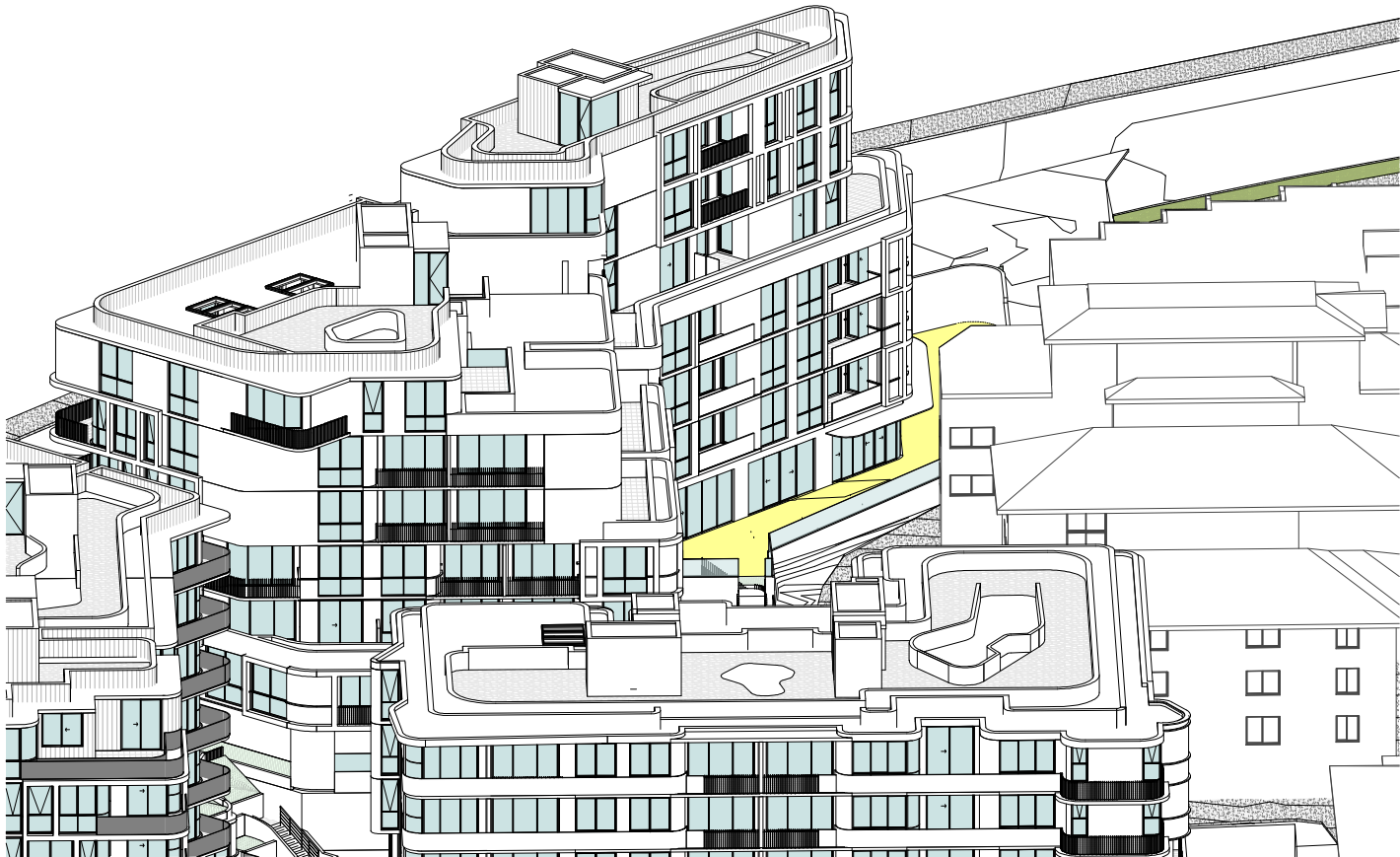
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Project
PROPOSED MIXED USE DEVELOPMENT

691- 695 Victoria
Road, Ryde
Drawing Title

CHILD CARE OUTDOOR AREA SOLAR ACCESS STUDY - 8AM

Job no.	Drawing no.	Rev.
J23589D	DA 6041	A
Drawn by SP	Checked by RJ	Approved by ZC
		Date SEP. 2023



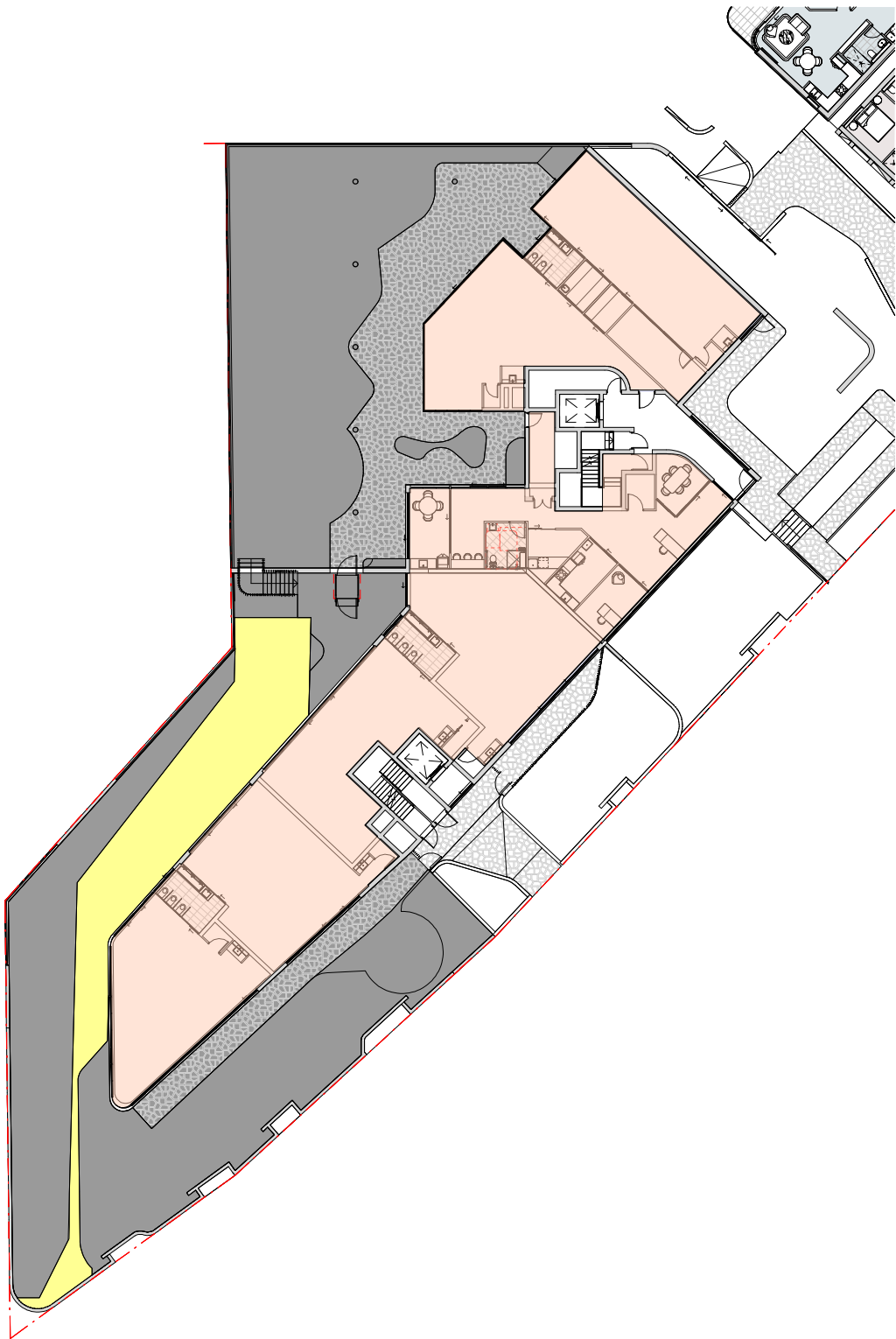
1 CHILDWARE SUN EYE VIEW JUNE 21 - 9AM

SOLAR ACCESS TO THE CHILDWARE OUTDOOR AREA - JUNE 21

MINIMUM REQUIRED OUTDOOR AREA	840m ²
TARGET COMPLIANCE AREA REQUIRED	MINIMUM 2HRS OF SOLAR ACCESS TO 30% OF MINIMUM OUTDOOR AREA (BETWEEN 8AM - 4PM WINTER MONTHS)
MINIMUM REQUIRED OUTDOOR AREA TO RECEIVE SOLAR	252m ²

OUTDOOR CHILDWARE AREA RECEIVING SOLAR

TIME	MINIMUM AREA REQUIRED	PROPOSED AREA	% OF THE MINIMUM AREA
8AM	252m ²	5.57m ²	0.6%
9AM	252m ²	126.29m ²	15%
10AM	252m ²	177.68m ²	21.2%
11AM	252m ²	195.06m ²	23.2%
12PM	252m ²	255.4m ²	30.4%
1PM	252m ²	257.28m ²	30.6%
2PM	252m ²	253.311m ²	30.1%
3PM	252m ²	171.49m ²	20.4%
4PM	252m ²	64.103m ²	7.6%



2 SOLAR ANALYSIS CHILDWARE OUTDOOR AREA GROUND LEVEL - JUNE 21 9AM

REFERENCES

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A	27.11.2023	DA SUBMISSION
Rev.	Date	Description

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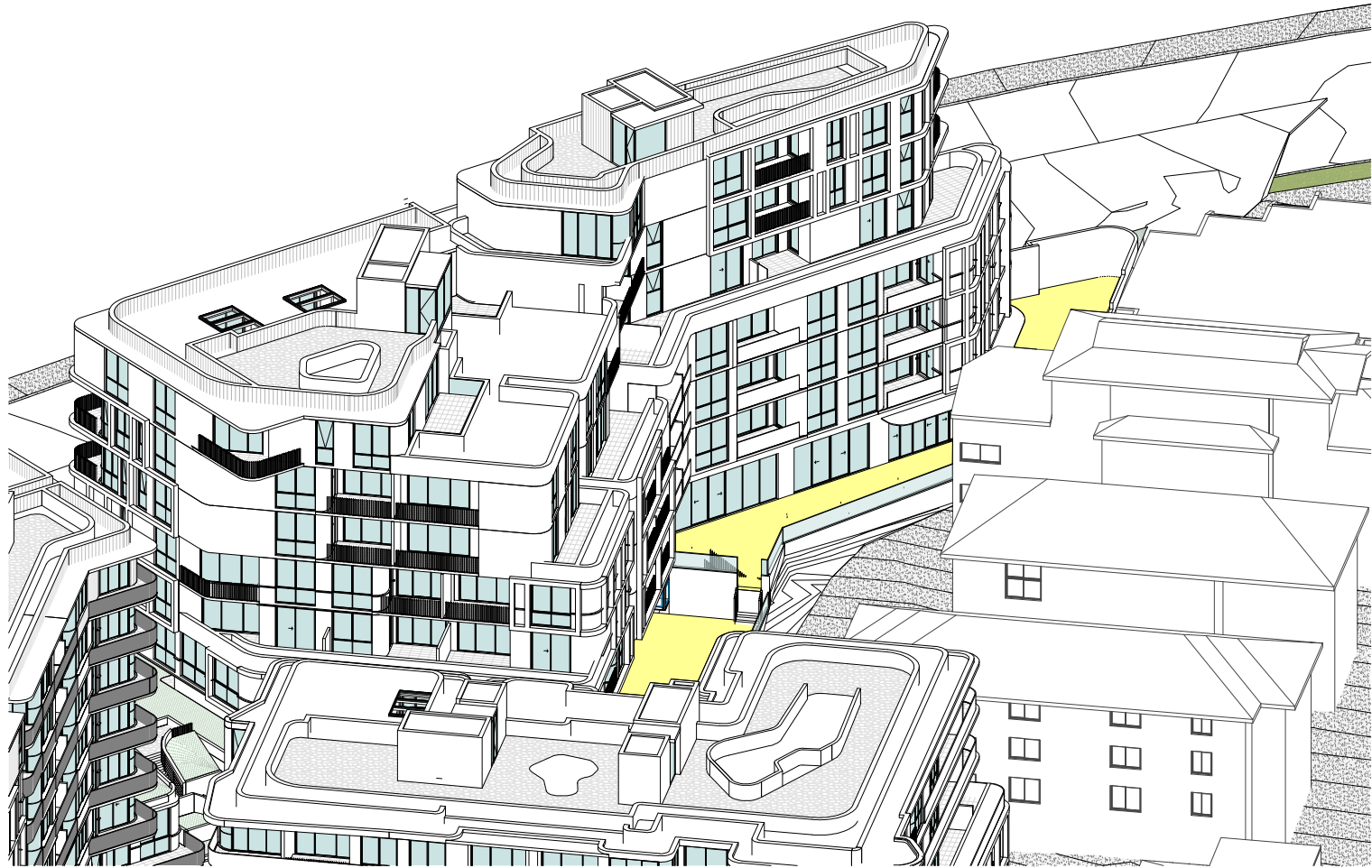
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Project
PROPOSED MIXED USE DEVELOPMENT

691- 695 Victoria
Road, Ryde

Drawing Title
CHILDWARE OUTDOOR AREA SOLAR
ACCESS STUDY - 9AM

Job no.	Drawing no.	Rev.
J23589D	DA 6042	A
Drawn by SP	Checked by RJ	Approved by ZC
Date SEP. 2023		



1 CHILDWARE SUN EYE VIEW JUNE 21 - 10AM

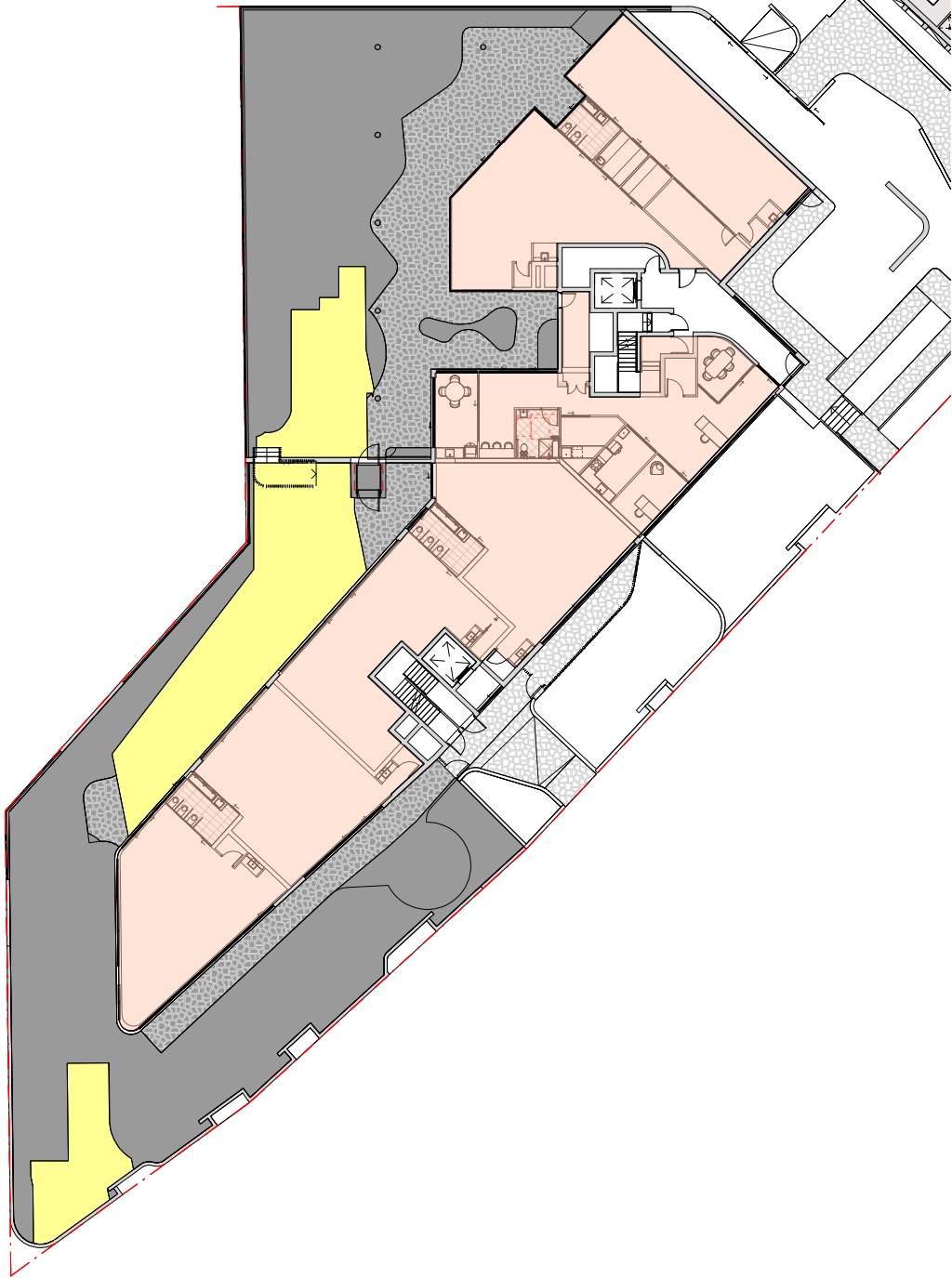
SOLAR ACCESS TO THE CHILDWARE OUTDOOR AREA - JUNE 21

MINIMUM REQUIRED OUTDOOR AREA	840m ²
TARGET COMPLIANCE AREA REQUIRED	MINIMUM 2HRS OF SOLAR ACCESS TO 30% OF MINIMUM OUTDOOR AREA (BETWEEN 8AM - 4PM WINTER MONTHS)

MINIMUM REQUIRED OUTDOOR AREA TO RECEIVE SOLAR 252m²

OUTDOOR CHILDWARE AREA RECEIVING SOLAR

TIME	MINIMUM AREA REQUIRED	PROPOSED AREA	% OF THE MINIMUM AREA
8AM	252m ²	5.57m ²	0.6%
9AM	252m ²	126.29m ²	15%
10AM	252m ²	177.68m ²	21.2%
11AM	252m ²	195.06m ²	23.2%
12PM	252m ²	255.4m ²	30.4%
1PM	252m ²	257.28m ²	30.6%
2PM	252m ²	253.311m ²	30.1%
3PM	252m ²	171.49m ²	20.4%
4PM	252m ²	64.103m ²	7.6%



2 SOLAR ANALYSIS CHILDWARE OUTDOOR AREA GROUND LEVEL - JUNE 21 10AM

REFERENCES

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Rev.	Date	Description

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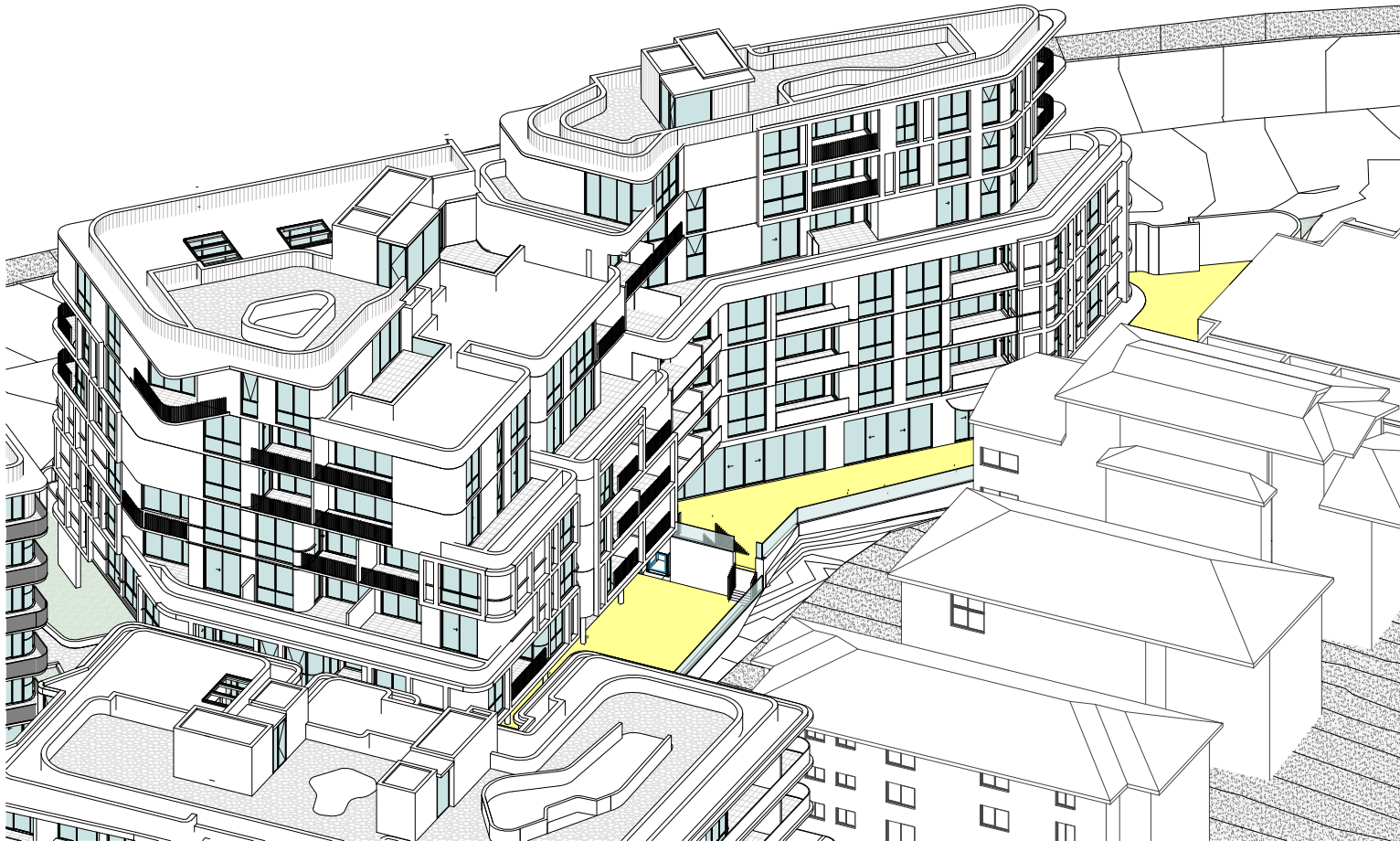
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691- 695 Victoria
Road, Ryde
Drawing Title

CHILDWARE OUTDOOR AREA SOLAR
ACCESS STUDY - 10AM

DA SUBMISSION			
Job no.	Drawing no.	Rev.	
J23589D	DA 6043	A	
Drawn by	Checked by	Approved by	Date
SP	RJ	ZC	SEP. 2023



1 CHILDCARE SUN EYE VIEW JUNE 21 - 11AM

SOLAR ACCESS TO THE CHILDCARE OUTDOOR AREA - JUNE 21

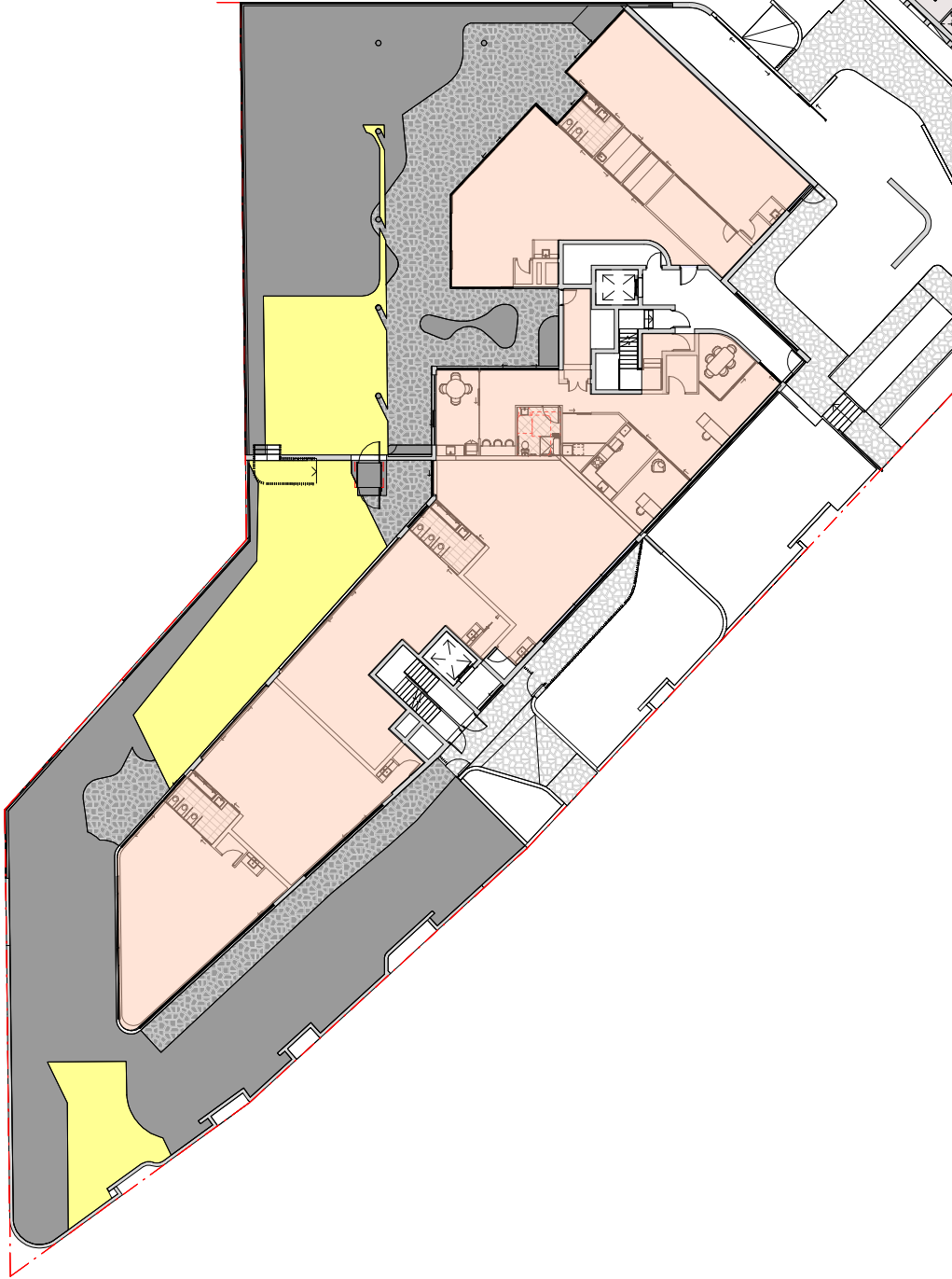
MINIMUM REQUIRED OUTDOOR AREA	840m ²
TARGET COMPLIANCE AREA REQUIRED	MINIMUM 2HRS OF SOLAR ACCESS TO 30% OF MINIMUM OUTDOOR AREA (BETWEEN 8AM - 4PM WINTER MONTHS)

MINIMUM REQUIRED OUTDOOR AREA TO RECEIVE SOLAR 252m²

OUTDOOR CHILDCARE AREA RECEIVING SOLAR

TIME	MINIMUM AREA REQUIRED	PROPOSED AREA	% OF THE MINIMUM AREA
8AM	252m ²	5.57m ²	0.6%
9AM	252m ²	126.29m ²	15%
10AM	252m ²	177.68m ²	21.2%
11AM	252m ²	195.06m ²	23.2%
12PM	252m ²	255.4m ²	30.4%
1PM	252m ²	257.28m ²	30.6%
2PM	252m ²	253.311m ²	30.1%
3PM	252m ²	171.49m ²	20.4%
4PM	252m ²	64.103m ²	7.6%

2 SOLAR ANALYSIS CHILDCARE OUTDOOR AREA GROUND LEVEL - JUNE 21 11AM



REFERENCES

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691- 695 Victoria
Road, Ryde
Drawing Title

CHILDCARE OUTDOOR AREA SOLAR
ACCESS STUDY - 11AM

Job no.	Drawing no.	Rev.
J23589D	DA 6044	A
Drawn by SP	Checked by RJ	Approved by ZC
Date SEP. 2023		



1 CHILD CARE SUN EYE VIEW JUNE 21 - 12PM

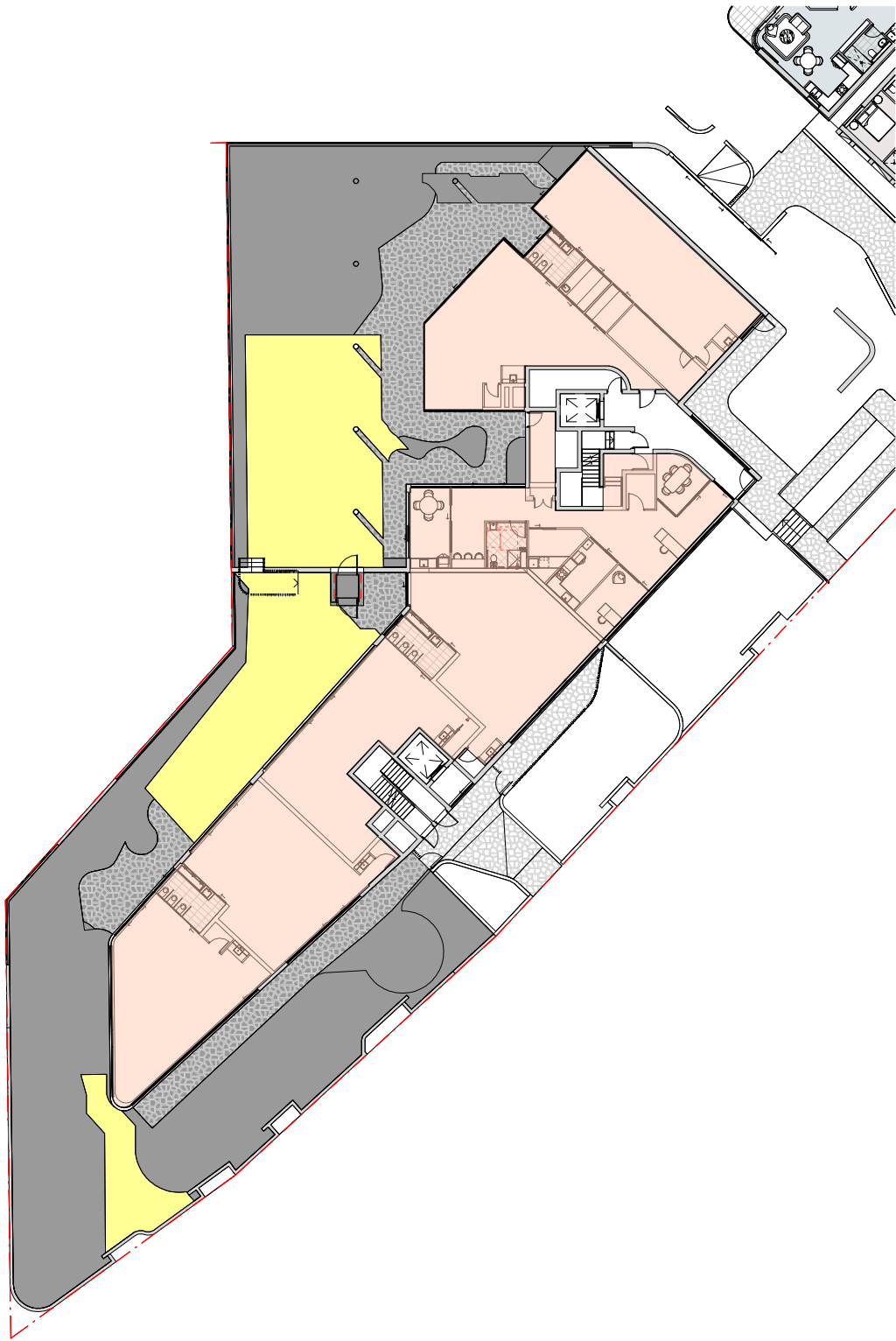
SOLAR ACCESS TO THE CHILD CARE OUTDOOR AREA - JUNE 21

MINIMUM REQUIRED OUTDOOR AREA	840m ²
TARGET COMPLIANCE AREA REQUIRED	MINIMUM 2HRS OF SOLAR ACCESS TO 30% OF MINIMUM OUTDOOR AREA (BETWEEN 8AM - 4PM WINTER MONTHS)

MINIMUM REQUIRED OUTDOOR AREA TO RECEIVE SOLAR 252m²

OUTDOOR CHILD CARE AREA RECEIVING SOLAR

TIME	MINIMUM AREA REQUIRED	PROPOSED AREA	% OF THE MINIMUM AREA
8AM	252m ²	5.57m ²	0.6%
9AM	252m ²	126.29m ²	15%
10AM	252m ²	177.68m ²	21.2%
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12PM	252m ²	255.4m ²	30.4%
1PM	252m ²	257.28m ²	30.6%
2PM	252m ²	253.311m ²	30.1%
3PM	252m ²	171.49m ²	20.4%
4PM	252m ²	64.103m ²	7.6%



2 SOLAR ANALYSIS CHILD CARE OUTDOOR AREA GROUND LEVEL - JUNE 21 12PM

REFERENCES

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Rev.	Date	Description

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691- 695 Victoria
Road, Ryde
Drawing Title

CHILD CARE OUTDOOR AREA SOLAR
ACCESS STUDY - 12PM

Job no.	Drawing no.	Rev.
J23589D	DA 6045	A
Drawn by SP	Checked by RJ	Approved by ZC
Date SEP. 2023		



1 CHILDCARE SUN EYE VIEW JUNE 21 - 1PM

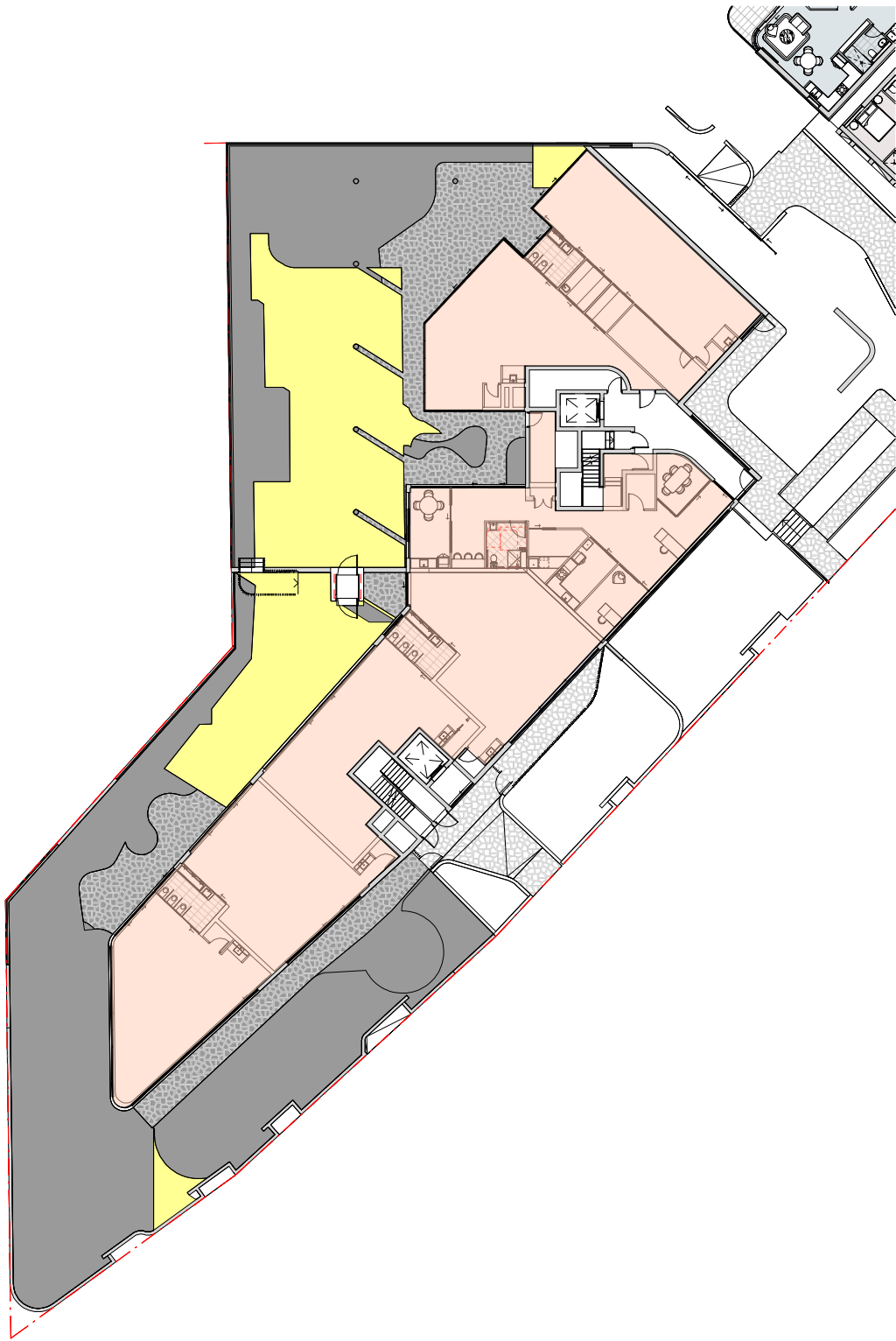
SOLAR ACCESS TO THE CHILDCARE OUTDOOR AREA - JUNE 21

MINIMUM REQUIRED OUTDOOR AREA	840m ²
TARGET COMPLIANCE AREA REQUIRED	MINIMUM 2HRS OF SOLAR ACCESS TO 30% OF MINIMUM OUTDOOR AREA (BETWEEN 8AM - 4PM WINTER MONTHS)

MINIMUM REQUIRED OUTDOOR AREA TO RECEIVE SOLAR 252m²

OUTDOOR CHILDCARE AREA RECEIVING SOLAR

TIME	MINIMUM AREA REQUIRED	PROPOSED AREA	% OF THE MINIMUM AREA
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1PM	252m ²	257.28m ²	30.6%
2PM	252m ²	253.311m ²	30.1%
3PM	252m ²	171.49m ²	20.4%
4PM	252m ²	64.103m ²	7.6%



2 SOLAR ANALYSIS CHILDCARE OUTDOOR AREA GROUND LEVEL - JUNE 21 1PM

REFERENCES

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Rev.	Date	Description

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691- 695 Victoria
Road, Ryde
Drawing Title

CHILDCARE OUTDOOR AREA SOLAR
ACCESS STUDY - 1PM

Job no.	Drawing no.	Rev.
J23589D	DA 6046	A
Drawn by SP	Checked by RJ	Approved by ZC
		Date SEP. 2023



1 CHILD CARE SUN EYE VIEW JUNE 21 - 2PM

SOLAR ACCESS TO THE CHILD CARE OUTDOOR AREA - JUNE 21

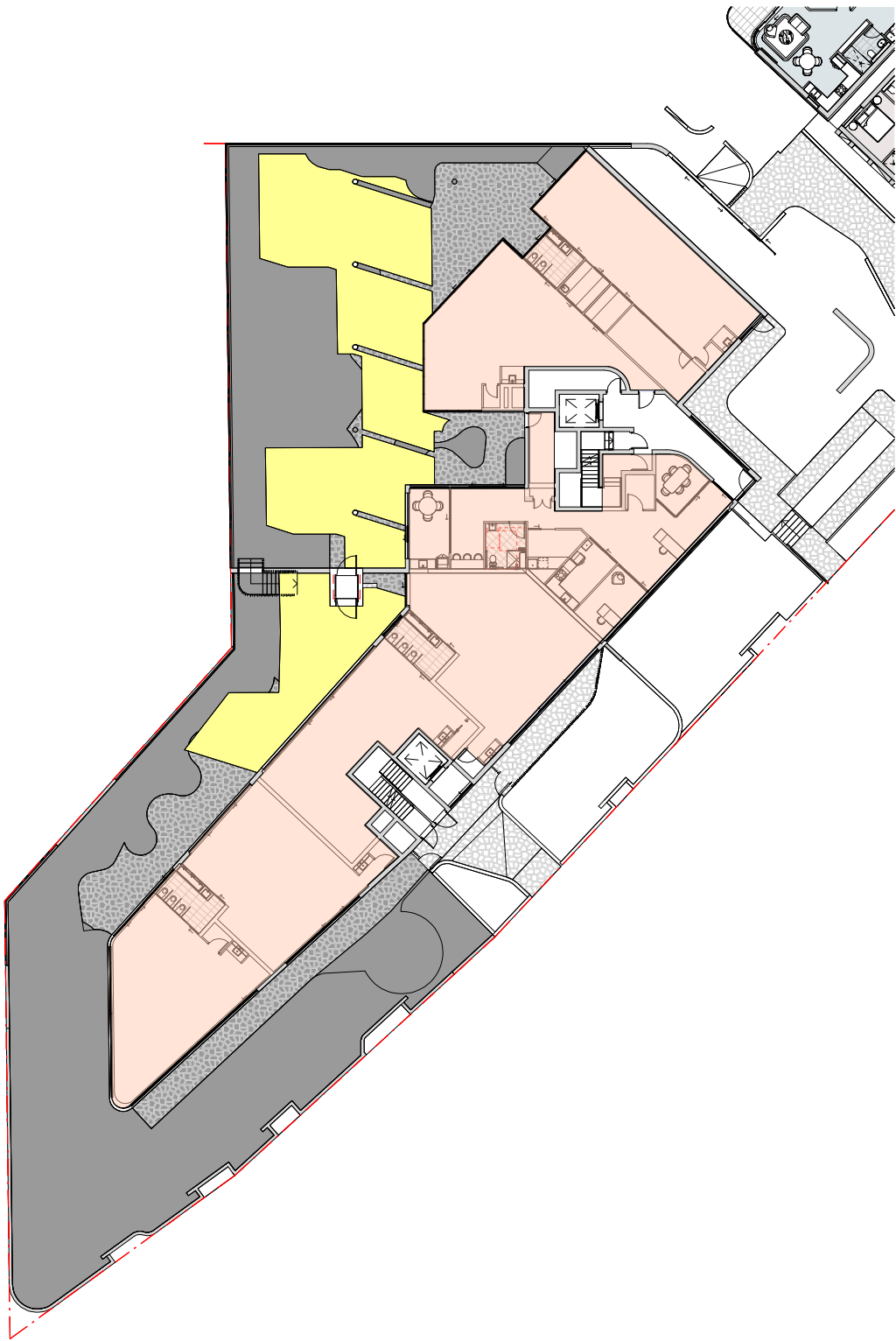
MINIMUM REQUIRED OUTDOOR AREA	840m ²
TARGET COMPLIANCE AREA REQUIRED	MINIMUM 2HRS OF SOLAR ACCESS TO 30% OF MINIMUM OUTDOOR AREA (BETWEEN 8AM - 4PM WINTER MONTHS)

MINIMUM REQUIRED OUTDOOR AREA TO RECEIVE SOLAR 252m²

OUTDOOR CHILD CARE AREA RECEIVING SOLAR

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3PM	252m ²	171.49m ²	20.4%
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2 SOLAR ANALYSIS CHILD CARE OUTDOOR AREA GROUND LEVEL - JUNE 21 2PM



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Rev.	Date	Description

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Project
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691- 695 Victoria
Road, Ryde
Drawing Title

CHILD CARE OUTDOOR AREA SOLAR
ACCESS STUDY - 2PM

Job no.	Drawing no.	Rev.
J23589D	DA 6047	A
Drawn by SP	Checked by RJ	Approved by ZC
		Date SEP. 2023



1 CHILDWARE SUN EYE VIEW JUNE 21 - 3PM

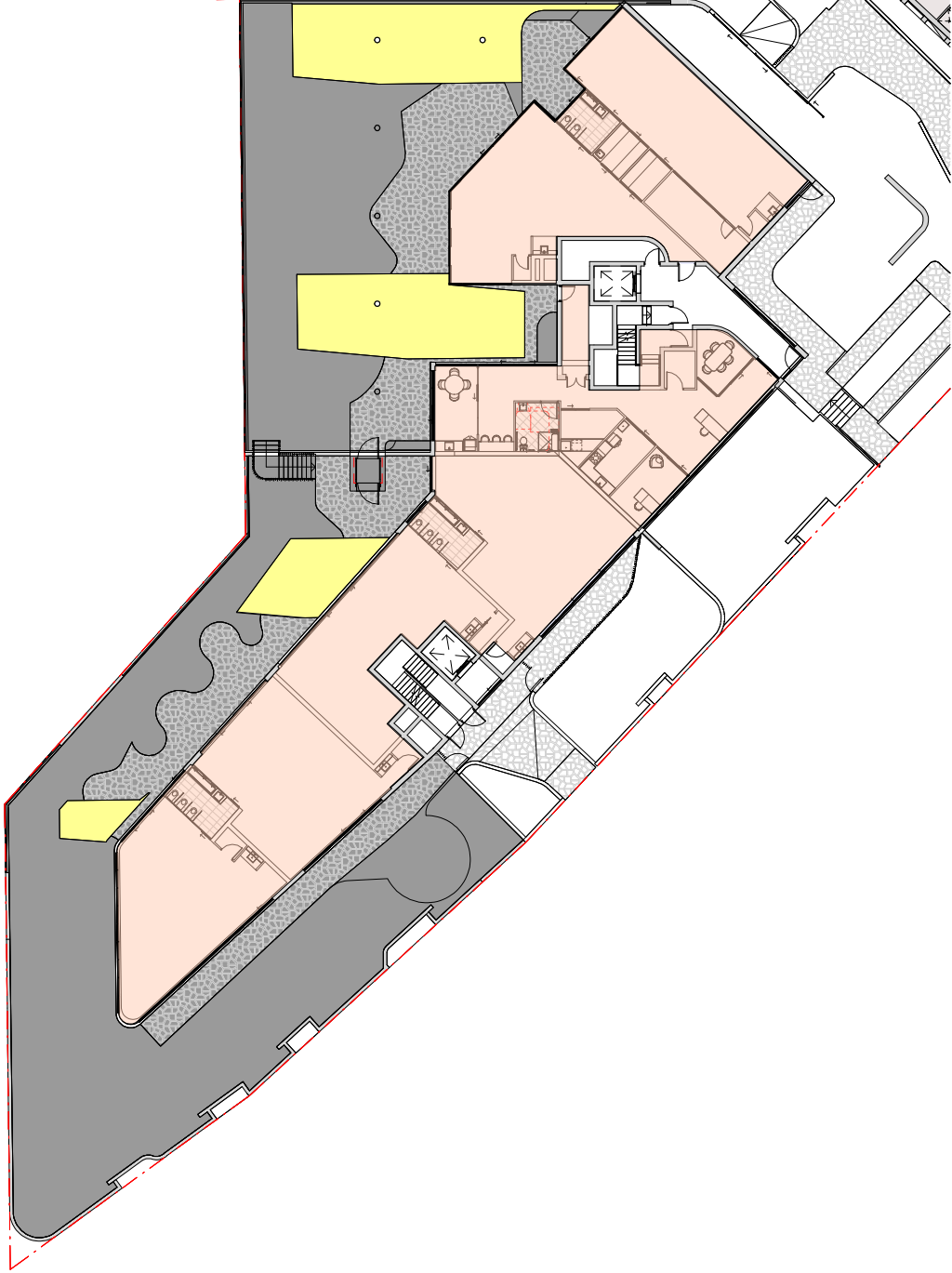
SOLAR ACCESS TO THE CHILDWARE OUTDOOR AREA - JUNE 21

MINIMUM REQUIRED OUTDOOR AREA	840m ²
TARGET COMPLIANCE AREA REQUIRED	MINIMUM 2HRS OF SOLAR ACCESS TO 30% OF MINIMUM OUTDOOR AREA (BETWEEN 8AM - 4PM WINTER MONTHS)

MINIMUM REQUIRED OUTDOOR AREA TO RECEIVE SOLAR 252m²

OUTDOOR CHILDWARE AREA RECEIVING SOLAR

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2 SOLAR ANALYSIS CHILDWARE OUTDOOR AREA GROUND LEVEL - JUNE 21 3PM

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691- 695 Victoria
Road, Ryde
Drawing Title

CHILDWARE OUTDOOR AREA SOLAR
ACCESS STUDY - 3PM

Job no.	Drawing no.	Rev.
J23589D	DA 6048	A
Drawn by SP	Checked by RJ	Approved by ZC
		Date SEP. 2023



1 CHILDWARE SUN EYE VIEW JUNE 21 - 4PM

SOLAR ACCESS TO THE CHILDWARE OUTDOOR AREA - JUNE 21

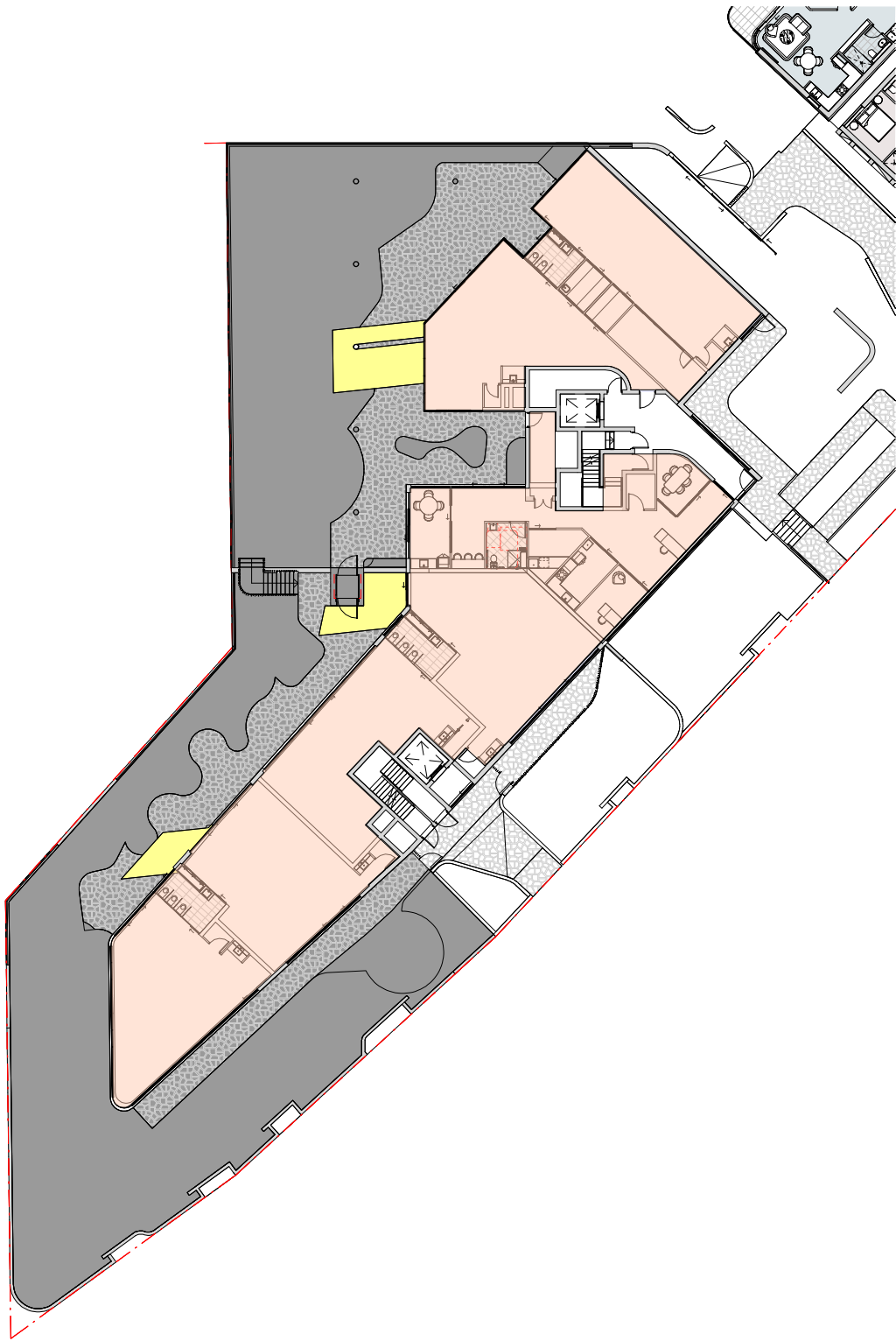
MINIMUM REQUIRED OUTDOOR AREA	840m ²
TARGET COMPLIANCE AREA REQUIRED	MINIMUM 2HRS OF SOLAR ACCESS TO 30% OF MINIMUM OUTDOOR AREA (BETWEEN 8AM - 4PM WINTER MONTHS)

MINIMUM REQUIRED OUTDOOR AREA TO RECEIVE SOLAR 252m²

OUTDOOR CHILDWARE AREA RECEIVING SOLAR

TIME	MINIMUM AREA REQUIRED	PROPOSED AREA	% OF THE MINIMUM AREA
8AM	252m ²	5.57m ²	0.6%
9AM	252m ²	126.29m ²	15%
10AM	252m ²	177.68m ²	21.2%
11AM	252m ²	195.06m ²	23.2%
12PM	252m ²	255.4m ²	30.4%
1PM	252m ²	257.28m ²	30.6%
2PM	252m ²	253.311m ²	30.1%
3PM	252m ²	171.49m ²	20.4%
4PM	252m ²	64.103m ²	7.6%

2 SOLAR ANALYSIS CHILDWARE OUTDOOR AREA GROUND LEVEL - JUNE 21 4PM



REFERENCES

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Project Architect


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Project
PROPOSED MIXED USE DEVELOPMENT

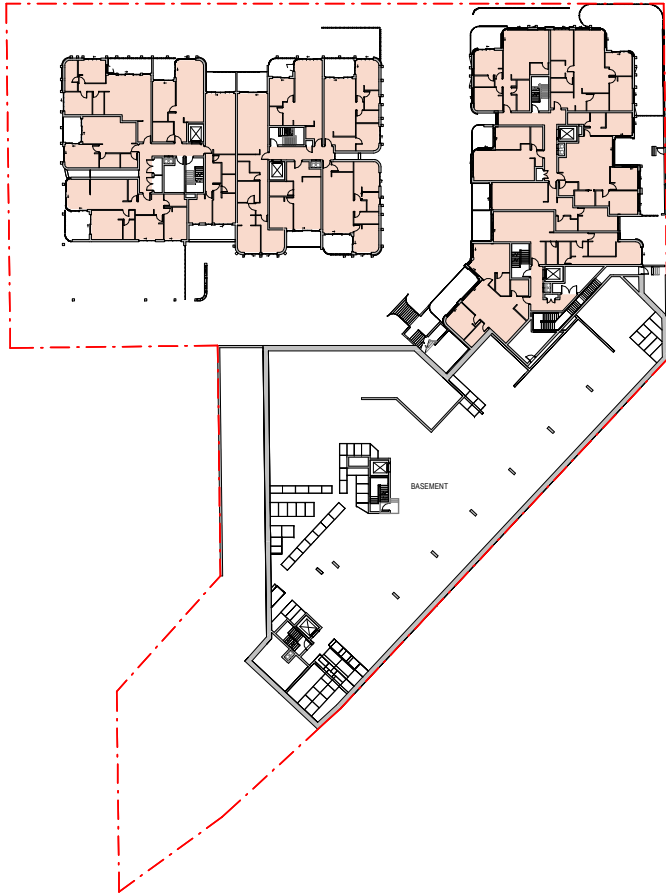
691- 695 Victoria
Road, Ryde

Drawing Title

**CHILDWARE OUTDOOR AREA SOLAR
ACCESS STUDY - 4PM**

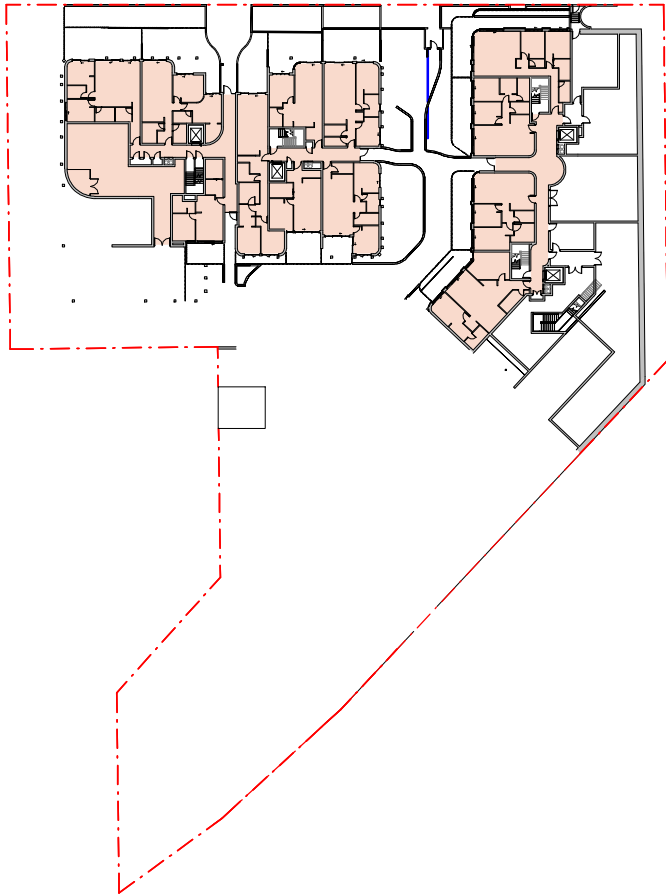
DA SUBMISSION

Job no.	Drawing no.	Rev.
J23589D	DA 6049	A
Drawn by SP	Checked by RJ	Approved by ZC
Date SEP. 2023		



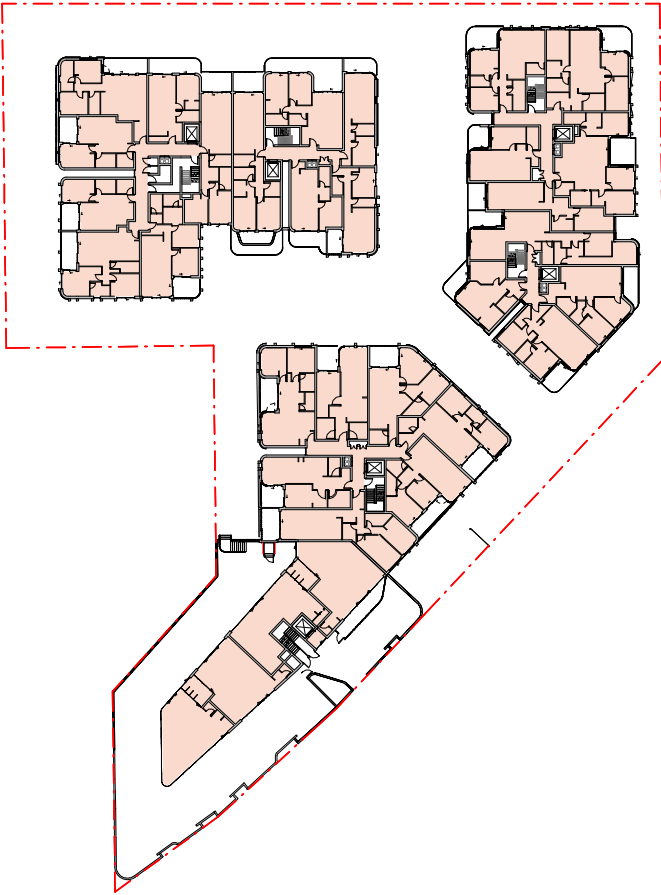
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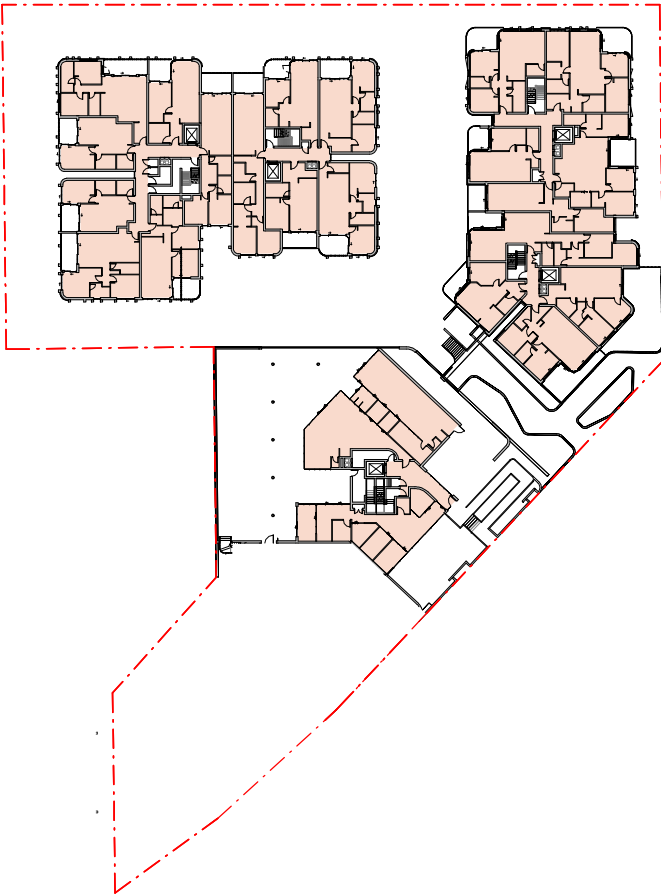
G GROUND FLOOR

1 : 500 at A1 1:1000 at A3



3 LEVEL 3

1 : 500 at A1 1:1000 at A3



2 LEVEL 2

1 : 500 at A1 1:1000 at A3

GFA AREA SCHEDULE	
BUILDING	AREA

GROUND LEVEL

BUILDING A	787 m²
BUILDING B	408 m²

LEVEL 1

BUILDING A	779 m²
BUILDING B	639 m²

LEVEL 2

BUILDING A	901 m²
BUILDING B	755 m²
BUILDING C	306 m²

LEVEL 3

BUILDING A	857 m²
BUILDING B	755 m²
BUILDING C	885 m²

LEVEL 4

BUILDING A	776 m²
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LEVEL 7

BUILDING A	8 m²
BUILDING B	727 m²
BUILDING C	668 m²

LEVEL 8

BUILDING B	14 m²
BUILDING C	506 m²

LEVEL 9

BUILDING C	180 m²
------------	--------

LEVEL 10

BUILDING C	5 m²
------------	------

TOTAL 16207 m²

AREA CALCULATIONS - FLOOR SPACE RATIO

ZONE	MU1
	MIXED USE
SITE AREA	6296.8m²

PERMISSIBLE FLOOR SPACE RATIO	1.8:1
ADDITIONAL FSR	-
RYDE LEP 2014 CLAUSE 4.4A AREA I	0.7:1
TOTAL FLOOR SPACE RATIO	2.5:1
PERMISSIBLE GFA	15742 m²

PROPOSED FLOOR SPACE RATIO	2.57:1
TOTAL GFA	16207 m²

RYDE CITY COUNCIL LOCAL ENVIRONMENTAL PLAN 2014

SITE AREA	6296.8m²
ZONING	MU1
RELEVANT CONTROLS	MIXED USE
COUNCIL	RYDE CITY COUNCIL
LOT / DP No.	17/DP777986, 2/DP443925, 3/DP443926 & 4/DP5873
FSR	1.8:1 + 0.7:1 (CLAUSE 4.4A AREA) = 2.5:1
HEIGHT OF BUILDING	18.5m + 3m Bonus = 21.5m
HERITAGE	NOT AFFECTED
ACID SULPHATE SOILS	NOT AFFECTED
KEY SITE	NOT AFFECTED
FLOOD PLANNING AREA	NOT AFFECTED
LAND RESERVATION ACQUISITION	NOT AFFECTED
NATURAL RESOURCE - BIODIVERSITY	NOT AFFECTED
FORESHORE BUILDING LINE	NOT AFFECTED

REFERENCES

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Scale	0 5 10 20 30 40	
m	1:500 at A1	1:1000 at A3

Project Architect TRUE NORTH

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Project
PROPOSED MIXED USE DEVELOPMENT

691- 695 Victoria
Road, Ryde

Drawing Title

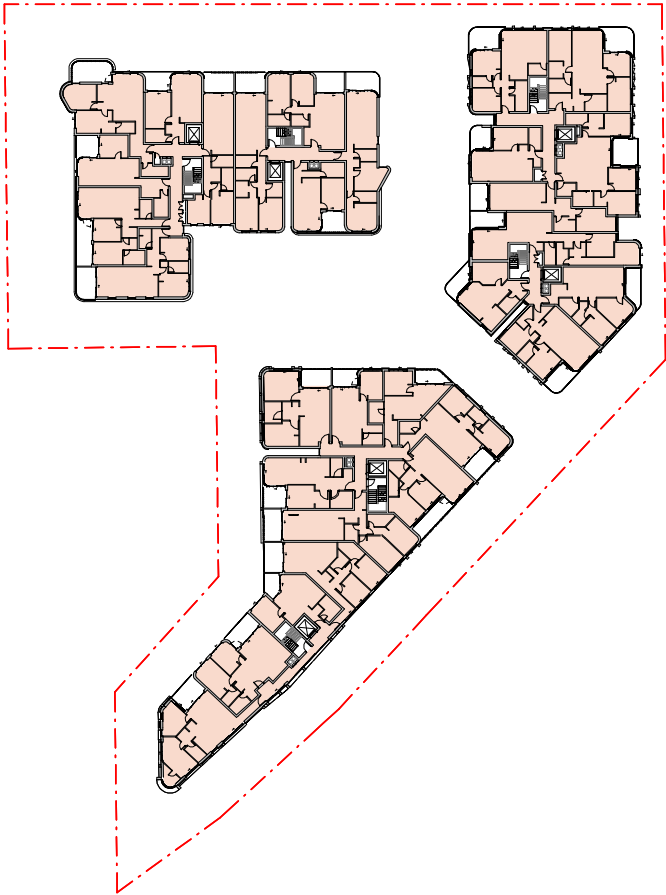
GFA CALCULATION 1

DA SUBMISSION

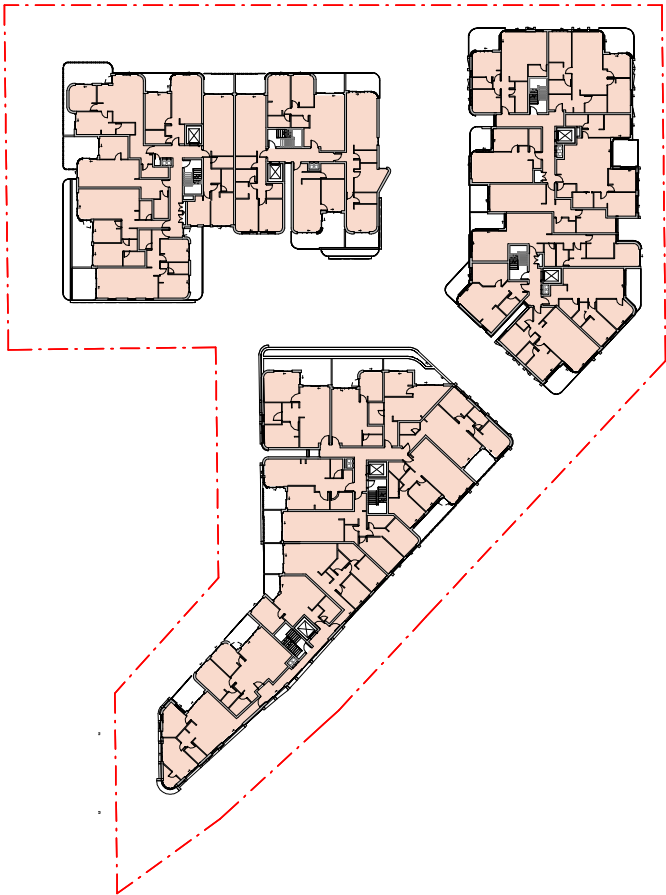
Job no.	Drawing no.	Rev.
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J23589D DA 7001 A

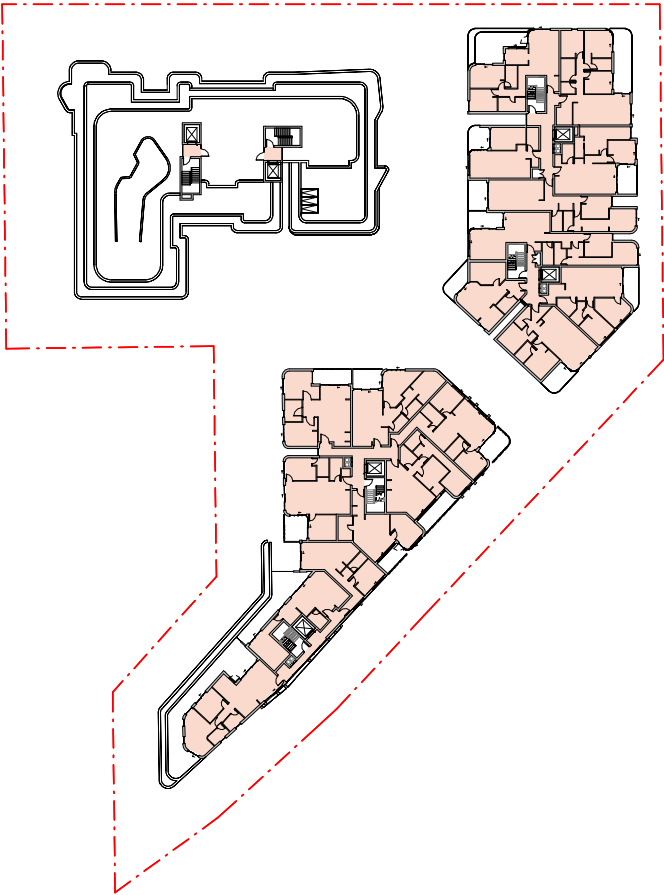
Drawn by	Checked by	Approved by	Date
SP	RJ	ZC	SEP. 2023



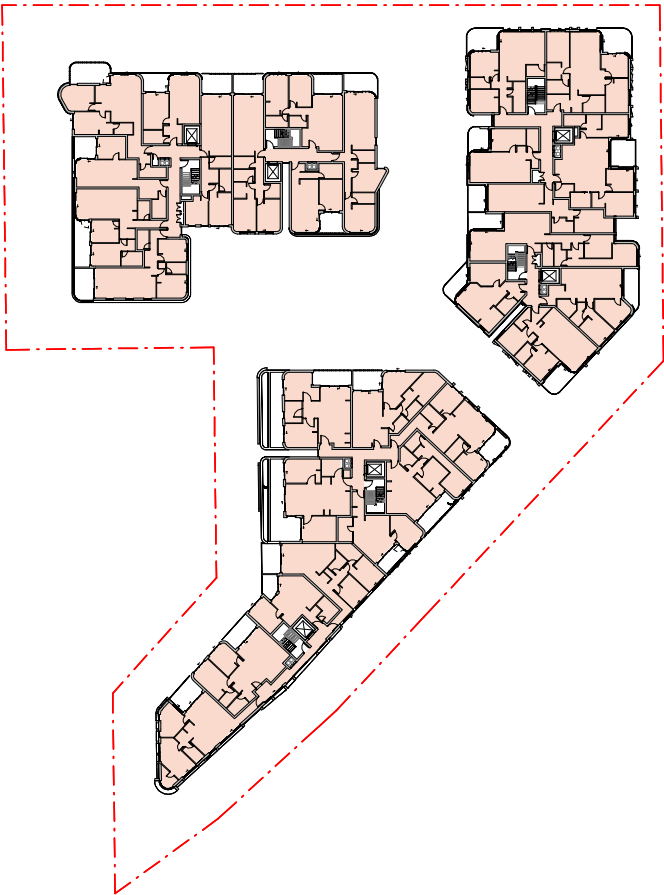
5 LEVEL 5
1 : 500 at A1 1:1000 at A3



4 LEVEL 4
1 : 500 at A1 1:1000 at A3



7 LEVEL 7
1 : 500 at A1 1:1000 at A3



6 LEVEL 6
1 : 500 at A1 1:1000 at A3

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BUILDING B	14 m²
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LEVEL 9	
BUILDING C	180 m²
LEVEL 10	
BUILDING C	5 m²
TOTAL	16207 m²

AREA CALCULATIONS - FLOOR SPACE RATIO

ZONE	MU1
MIXED USE	
SITE AREA	6296.8m²
PERMISSIBLE FLOOR SPACE RATIO	1.8:1
ADDITIONAL FSR	-
RYDE LEP 2014 CLAUSE 4.4A AREA I	0.7:1
TOTAL FLOOR SPACE RATIO	2.5:1
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LAND RESERVATION ACQUISITION	NOT AFFECTED
NATURAL RESOURCE - BIODIVERSITY	NOT AFFECTED
FORESHORE BUILDING LINE	NOT AFFECTED

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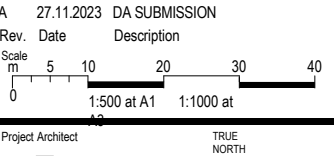
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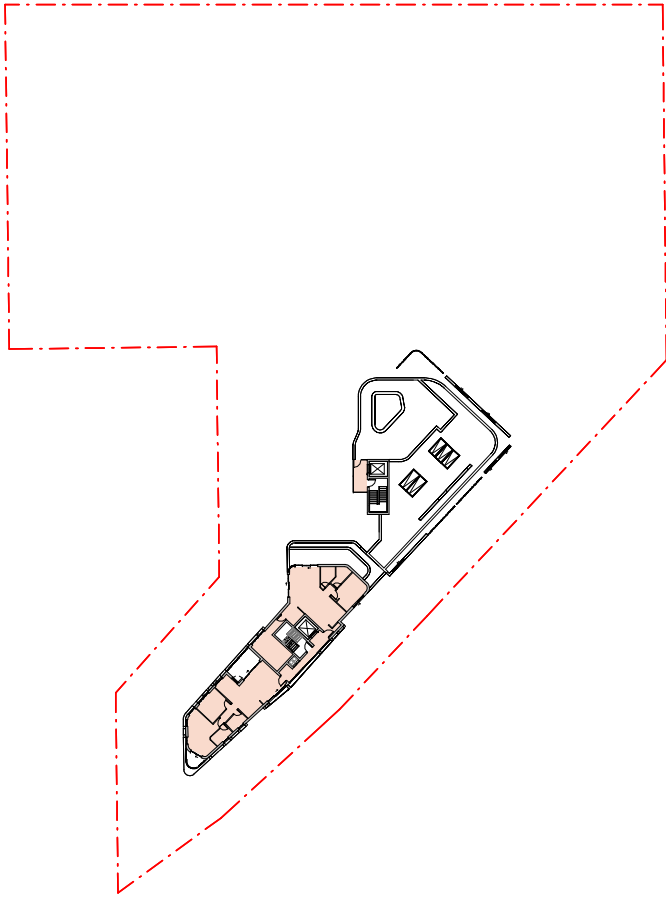
Project
PROPOSED MIXED USE DEVELOPMENT

691- 695 Victoria
Road, Ryde

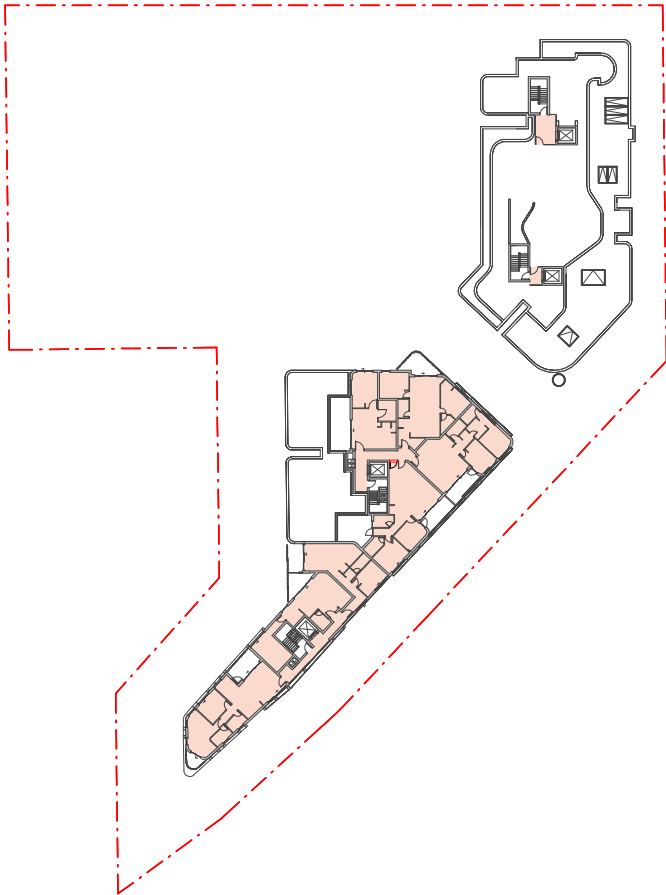
Drawing Title

GFA CALCULATION 2

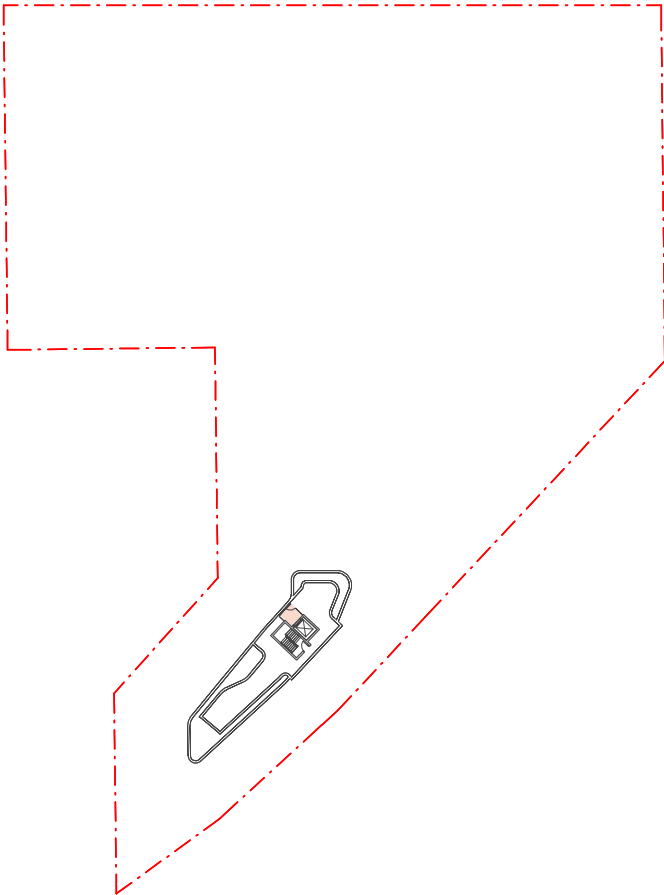
DA SUBMISSION		
Job no.	Drawing no.	Rev.
J23589D	DA 7002	A
Drawn by	Checked by	Approved by
SP	RJ	ZC
Date		
		SEP. 2023



9 LEVEL 9
1 : 500 at A1 1:1000 at A3



8 LEVEL 8
1 : 500 at A1 1:1000 at A3



10 LEVEL 10
1 : 500 at A1 1:1000 at A3

GFA AREA SCHEDULE	
BUILDING	AREA

GROUND LEVEL

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BUILDING B	408 m²

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LEVEL 9

BUILDING C	180 m²
------------	--------

LEVEL 10

BUILDING C	5 m²
TOTAL	16207 m²

AREA CALCULATIONS - FLOOR SPACE RATIO

ZONE	MU1 MIXED USE
SITE AREA	6296.8m²
PERMISSIBLE FLOOR SPACE RATIO	1.8:1
ADDITIONAL FSR	-
RYDE LEP 2014 CLAUSE 4.4A AREA I	0.7:1
TOTAL FLOOR SPACE RATIO	2.5:1
PERMISSIBLE GFA	15742 m²
PROPOSED FLOOR SPACE RATIO	2.57:1
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Rev.	Date	Description
Scale	0 5 10 20 30 40	1:500 at A1 1:1000 at A3

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Project
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Drawing Title

GFA CALCULATION 3

DA SUBMISSION

Job no.	Drawing no.	Rev.
J23589D	DA 7003	A
Drawn by	Checked by	Approved by
SP	RJ	ZC
Date		SEP. 2023

1 CHILDCARE INDOOR AREA CALCULATION

1 : 200 at A1 1:400 at A3



CHILDCAR INDOOR AREA SCHEDULE

KIDS	RATE	REQUIRED	PROPOSED
0-2 YEARS(20 KIDS)	1 KID / 3.25 m ²	65 m ²	67 m ²
2-3 YEARS(20 KIDS)	1 KID / 3.25 m ²	65 m ²	69 m ²
3-4 YEARS(40 KIDS)	1 KID / 3.25 m ²	130 m ²	139 m ²
4-5 YEARS(40 KIDS)	1 KID / 3.25 m ²	130 m ²	130 m ²
TOTAL TOTAL (120 KIDS)		390 m ²	406 m ²

CHILDCARE INDOOR AREA

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Rev.	Date	Description
Scale	0	2 4 8 12 16
m	1:200 at A1	1:400 at A3

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Drawing Title

CHILDCARE INDOOR AREA CALCULATION

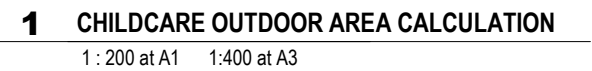
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 CHILDCARE OUTDOOR AREA

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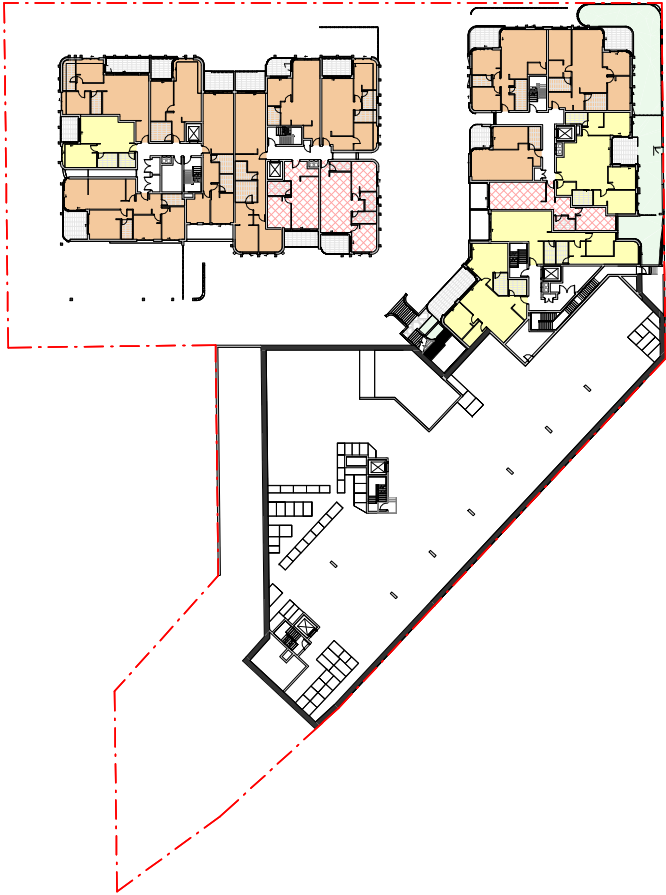
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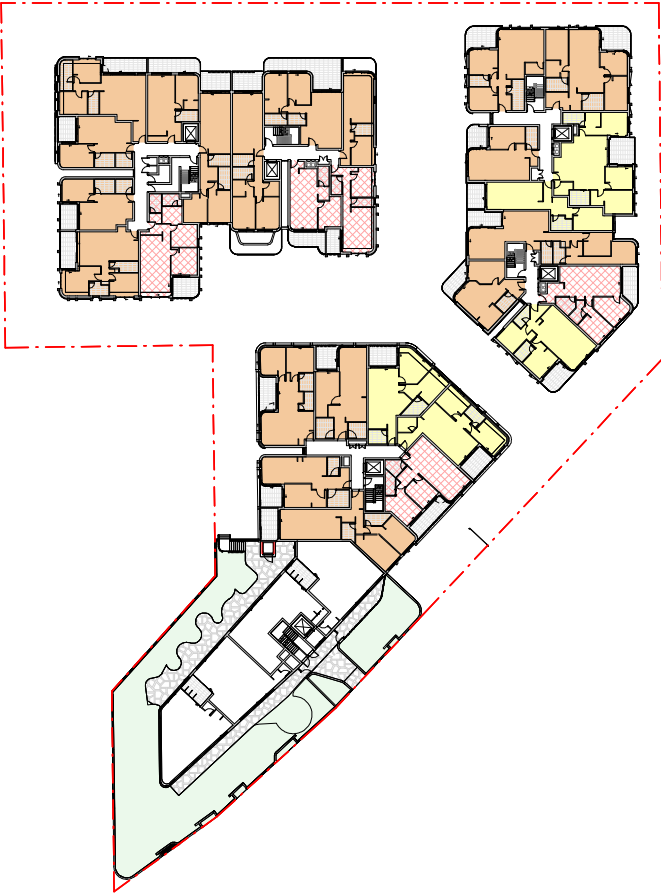
CHILDCARE OUTDOOR AREA CALCULATION

Job no.	Drawing no.	Rev.
J23589D	DA 7006	A
Drawn by	Checked by	Approved by
SP	RJ	ZC
		Date
		SEP. 2023



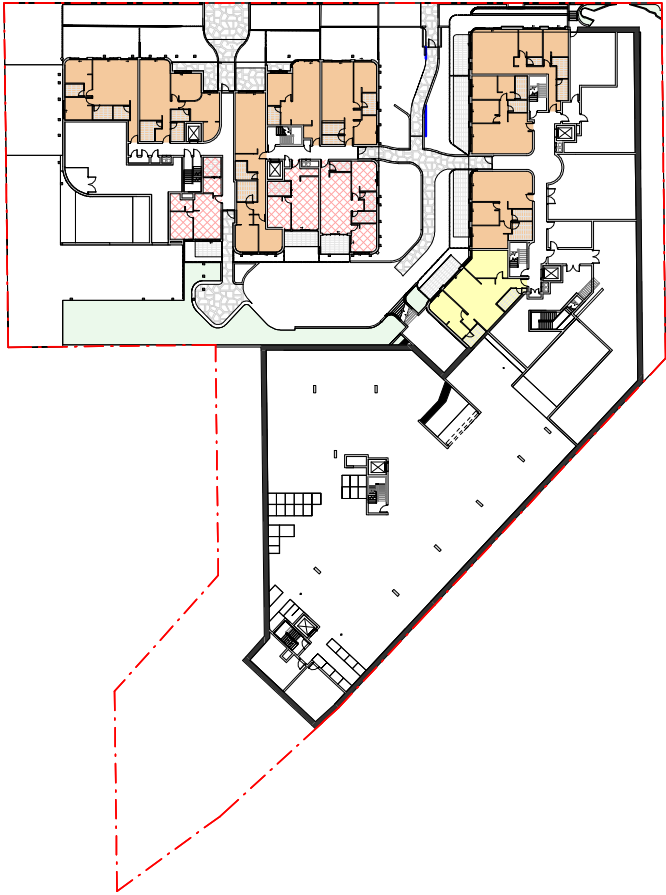
1 SOLAR ACCESS - LEVEL 1

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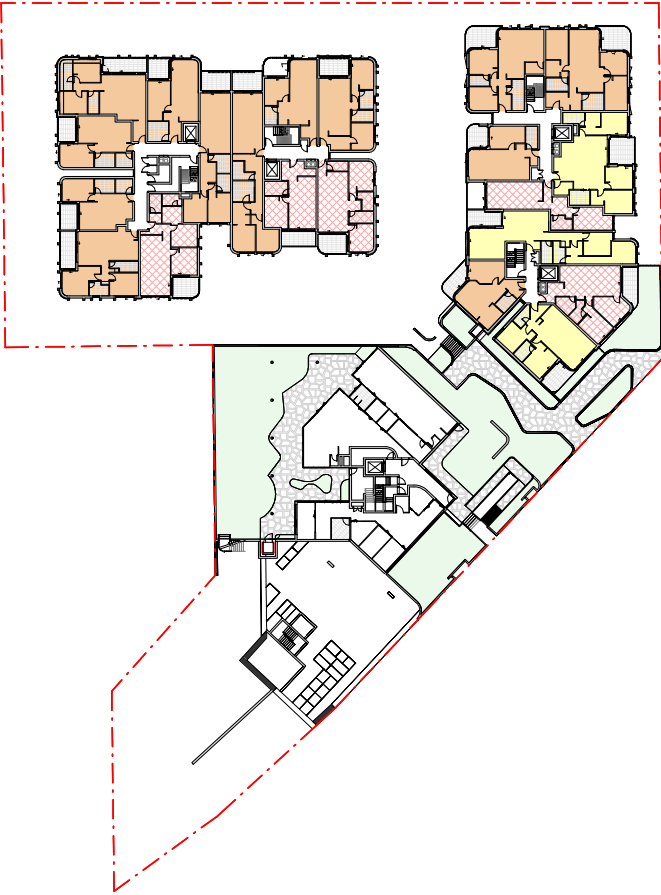
3 SOLAR ACCESS - LEVEL 3

1 : 500 at A1 1:1000 at A3



G SOLAR ACCESS - GROUND LEVEL




1 : 500 at A1 1:1000 at A3



2 SOLAR ACCESS - LEVEL 2

1 : 500 at A1 1:1000 at A3

SOLAR ACCESS LEGEND

TOTAL NUMBER OF UNITS	TARGET COMPLIANCE REQUIRED	PROPOSED UNITS RECEIVING OVER 2 HOURS SOLAR ACCESS ON JUNE 21st BETWEEN 9am - 3pm
194 UNITS	135.8 UNITS (70%)	142 UNITS (73.1%)
	APARTMENTS / BALCONIES RECEIVING OVER 2 HOURS SOLAR ACCESS ON JUNE 21st BETWEEN 9am - 3pm	
	APARTMENTS / BALCONIES RECEIVING UNDER 2 HOURS SOLAR ACCESS ON JUNE 21st BETWEEN 9am - 3pm	
	APARTMENTS / BALCONIES RECEIVING NO SOLAR ACCESS ON JUNE 21st BETWEEN 9am - 3pm	

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Solar Access	Count
None	27
Over 2Hrs	142
Under 2Hrs	25

TOTAL: 194

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Project
PROPOSED MIXED USE DEVELOPMENT

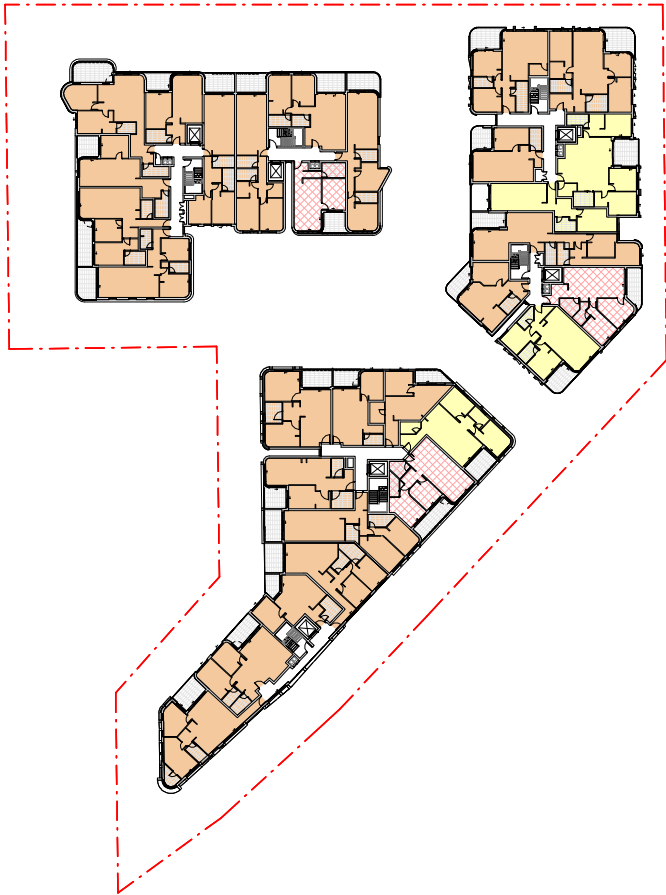
691- 695 Victoria
Road, Ryde

Drawing Title

SOLAR ACCESS PLAN 1

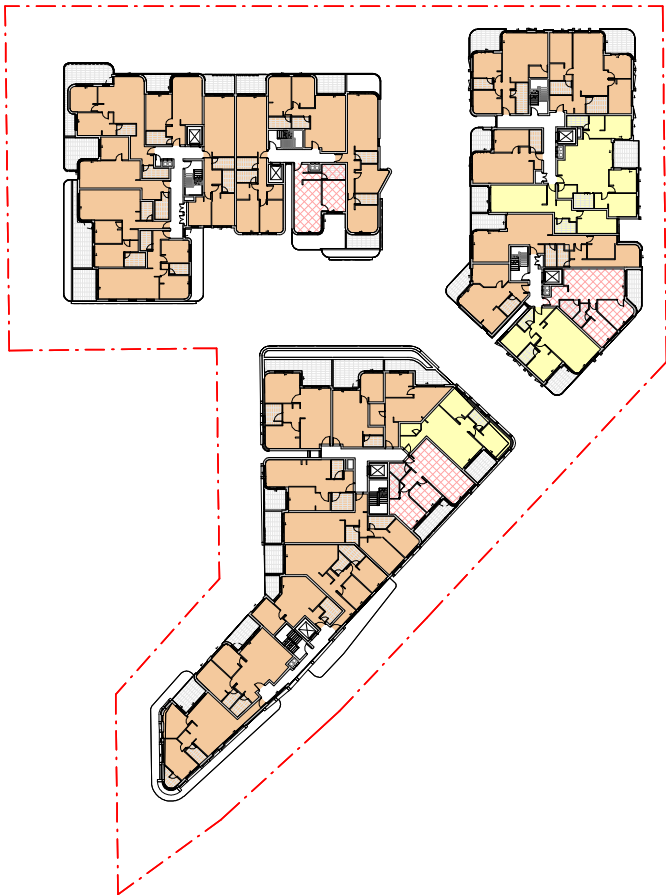
DA SUBMISSION

Job no.	Drawing no.	Rev.
J23589D	DA 7011	A
Drawn by	Checked by	Approved by
SP	RJ	ZC
Date		SEP. 2023



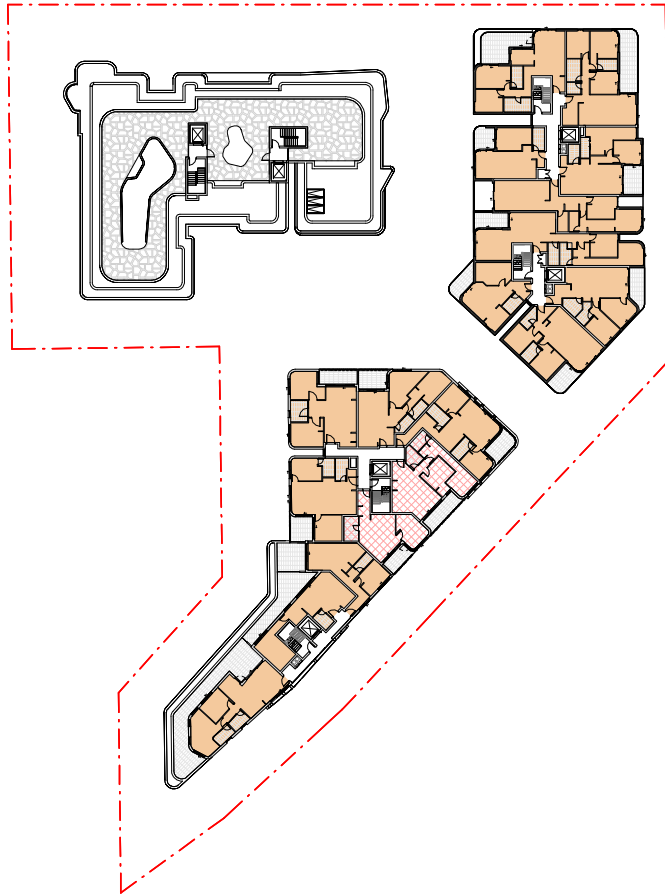
5 SOLAR ACCESS - LEVEL 5

1 : 500 at A1 1:1000 at A3



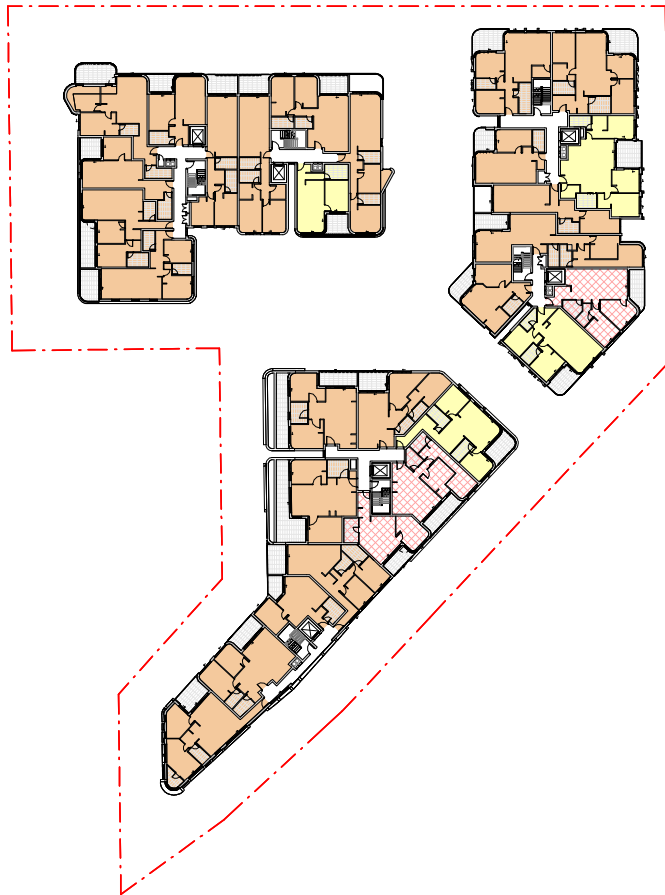
4 SOLAR ACCESS - LEVEL 4

1 : 500 at A1 1:1000 at A3



7 SOLAR ACCESS - LEVEL 7


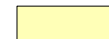

1 : 500 at A1 1:1000 at A3



6 SOLAR ACCESS - LEVEL 6

1 : 500 at A1 1:1000 at A3

SOLAR ACCESS LEGEND

TOTAL NUMBER OF UNITS	TARGET COMPLIANCE REQUIRED	PROPOSED UNITS RECEIVING OVER 2 HOURS SOLAR ACCESS ON JUNE 21st BETWEEN 9am - 3pm
194 UNITS	135.8 UNITS (70%)	142 UNITS (73.1%)
	APARTMENTS / BALCONIES RECEIVING OVER 2 HOURS SOLAR ACCESS ON JUNE 21st BETWEEN 9am - 3pm	
	APARTMENTS / BALCONIES RECEIVING UNDER 2 HOURS SOLAR ACCESS ON JUNE 21st BETWEEN 9am - 3pm	
	APARTMENTS / BALCONIES RECEIVING NO SOLAR ACCESS ON JUNE 21st BETWEEN 9am - 3pm	

REFERENCES

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NOTES

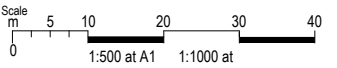
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Solar Access	Count
None	27
Over 2Hrs	142
Under 2Hrs	25

TOTAL: 194

A 27.11.2023 DA SUBMISSION

Rev. Date Description



Project Architect

TRUE NORTH

DDA
CDARCHITECTS

LEVEL 2, 60 PARK STREET

SYDNEY NSW 2000

P: 02 9267 2000

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Project
PROPOSED MIXED USE DEVELOPMENT

691- 695 Victoria

Road, Ryde

Drawing Title

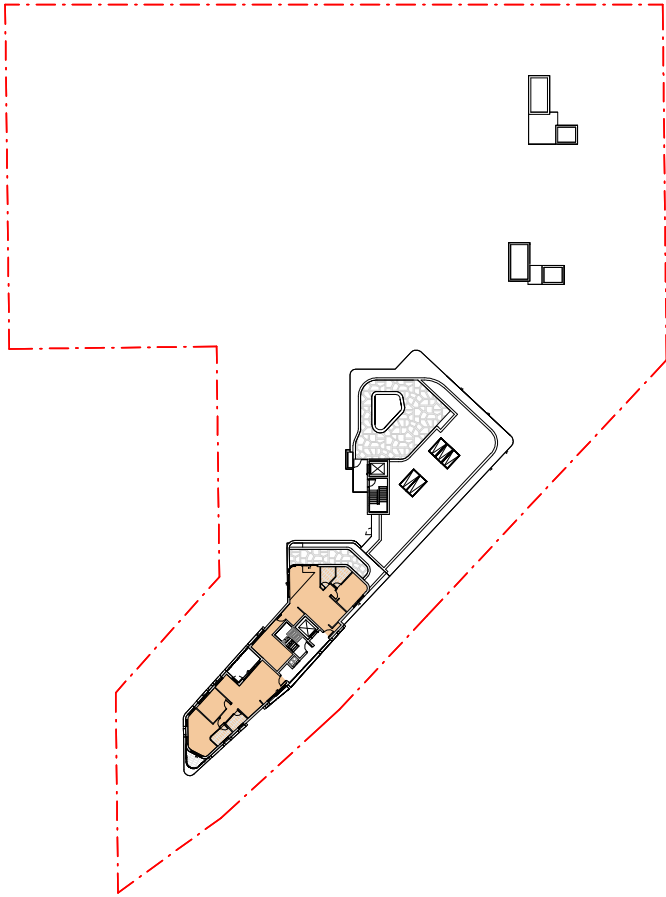
SOLAR ACCESS PLAN 2

DA SUBMISSION

Job no. Drawing no. Rev.

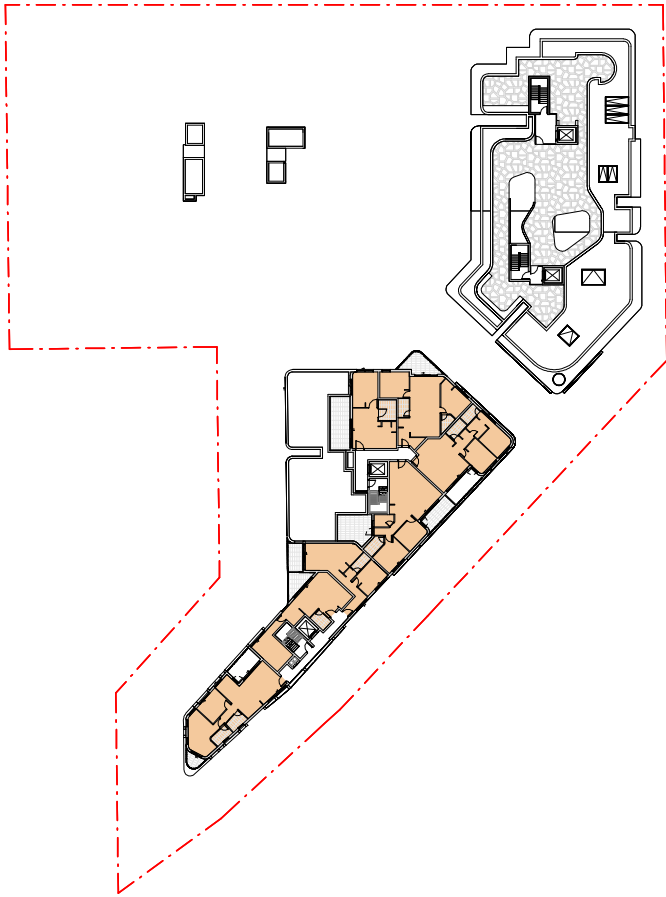
J23589D DA 7012 A

Drawn by SP Checked by RJ Approved by ZC Date SEP. 2023



9 SOLAR ACCESS - LEVEL 9

1 : 500 at A1 1:1000 at A3



8 SOLAR ACCESS - LEVEL 8

1 : 500 at A1 1:1000 at A3

SOLAR ACCESS LEGEND

TOTAL NUMBER OF UNITS	TARGET COMPLIANCE REQUIRED	PROPOSED UNITS RECEIVING OVER 2 HOURS SOLAR ACCESS ON JUNE 21st BETWEEN 9am - 3pm
194 UNITS	135.8 UNITS (70%)	142 UNITS (73.1%)
<div></div>	APARTMENTS / BALCONIES RECEIVING OVER 2 HOURS SOLAR ACCESS ON JUNE 21st BETWEEN 9am - 3pm	
<div></div>	APARTMENTS / BALCONIES RECEIVING UNDER 2 HOURS SOLAR ACCESS ON JUNE 21st BETWEEN 9am - 3pm	
<div></div>	APARTMENTS / BALCONIES RECEIVING NO SOLAR ACCESS ON JUNE 21st BETWEEN 9am - 3pm	

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Solar Access	Count
None	27
Over 2Hrs	142
Under 2Hrs	25

TOTAL: 194

A27.11.2023DA SUBMISSION

Rev. Date Description

Scale m0 5 10 20 30 40

1:500 at A11:1000 at A3

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Project
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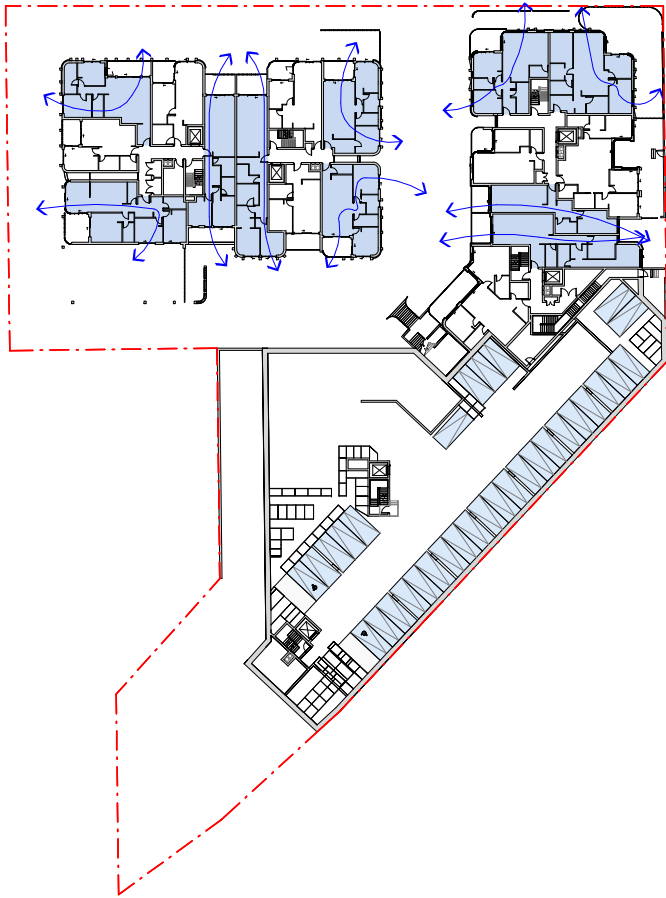
691- 695 Victoria Road, Ryde

Drawing Title

SOLAR ACCESS PLAN 3

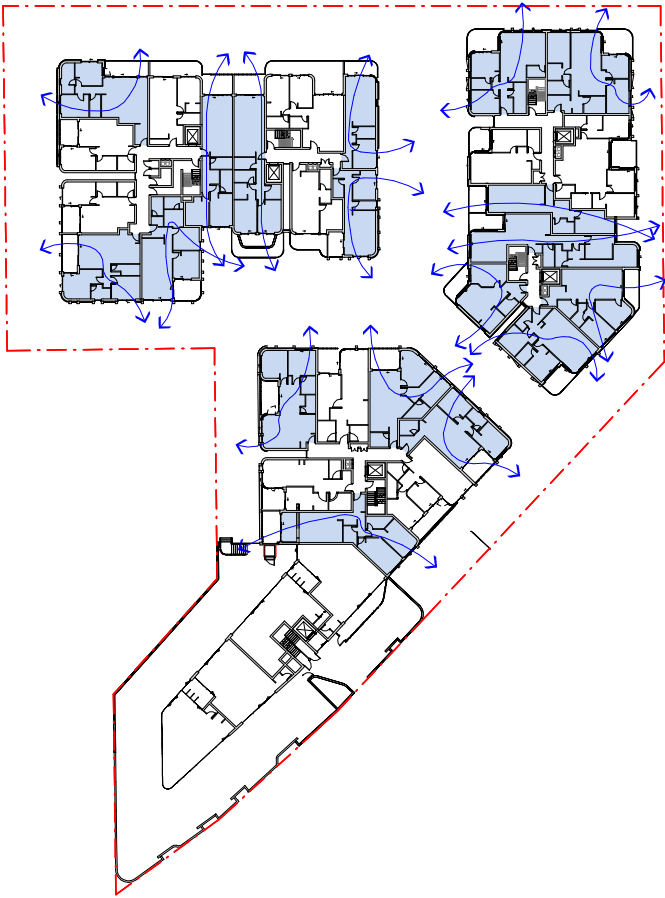
DA SUBMISSION

Job no.	Drawing no.	Rev.
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Drawn by SP	Checked by RJ	Approved by ZC
		Date SEP. 2023



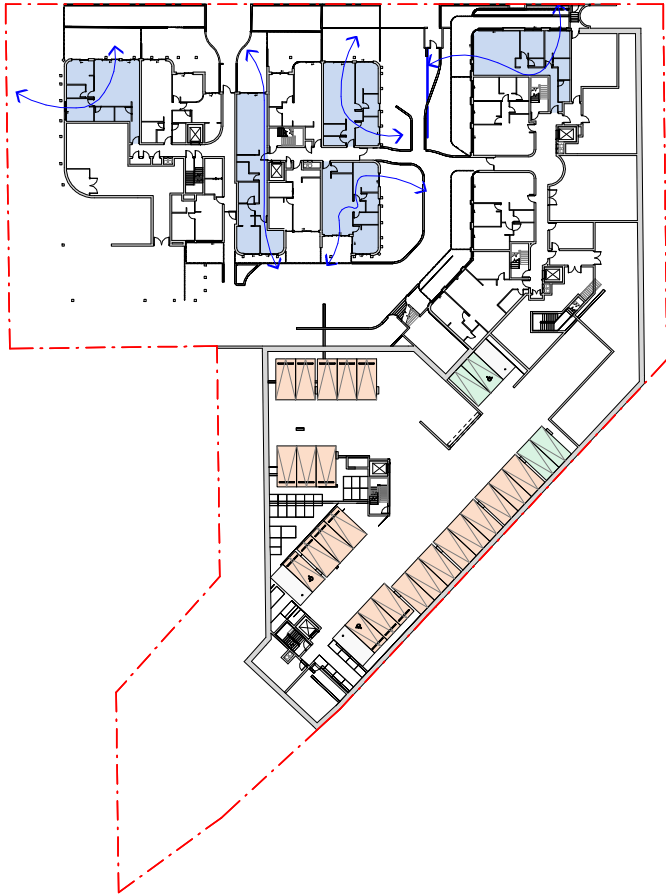
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1 : 500 at A1 1:1000 at A3



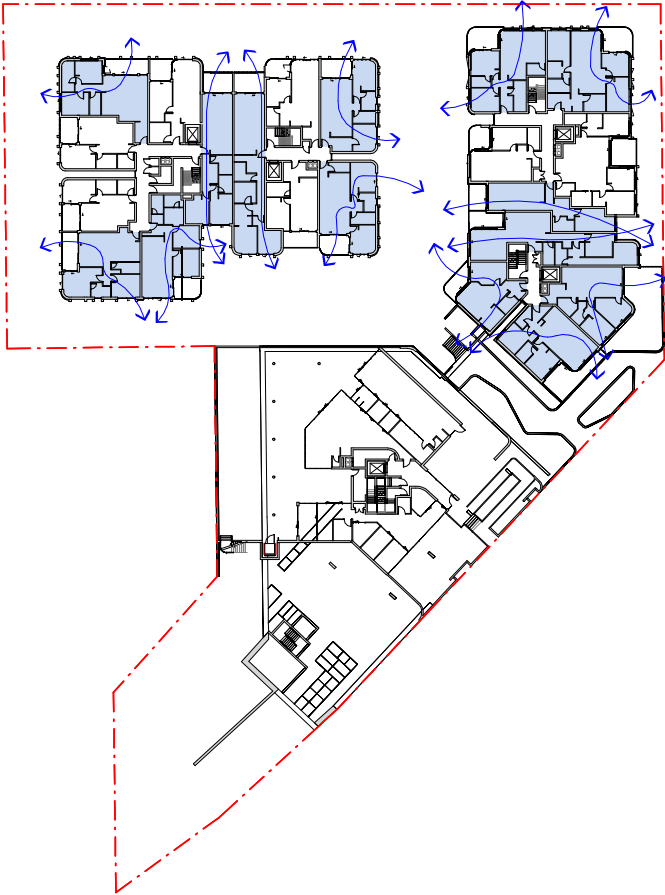
3 VENTILATION - LEVEL 3

1 : 500 at A1 1:1000 at A3



G VENTILATION - GROUND LEVEL

1 : 500 at A1 1:1000 at A3




2 VENTILATION - LEVEL 2


1 : 500 at A1 1:1000 at A3

VENTILATION LEGEND

TOTAL NUMBER OF UNITS	TARGET COMPLIANCE REQUIRED	PROPOSED UNITS RECEIVING NATURAL CROSS VENTILATION
194 UNITS	116.4 UNITS (60%)	119 UNITS (61.3%)

 NATURAL CROSS VENTILATED APARTMENTS

 NATURAL CROSS VENTILATED APARTMENTS

 NATURAL CROSS VENTILATED CORRIDOR

REFERENCES

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Ventilation	Count
No	75
Yes	119

TOTAL: 194

A	27.11.2023	DA SUBMISSION
Rev.	Date	Description
Scale	0	5
m	10	20
	30	40
	1:500 at A1	1:1000 at A3

Project Architect TRUE NORTH

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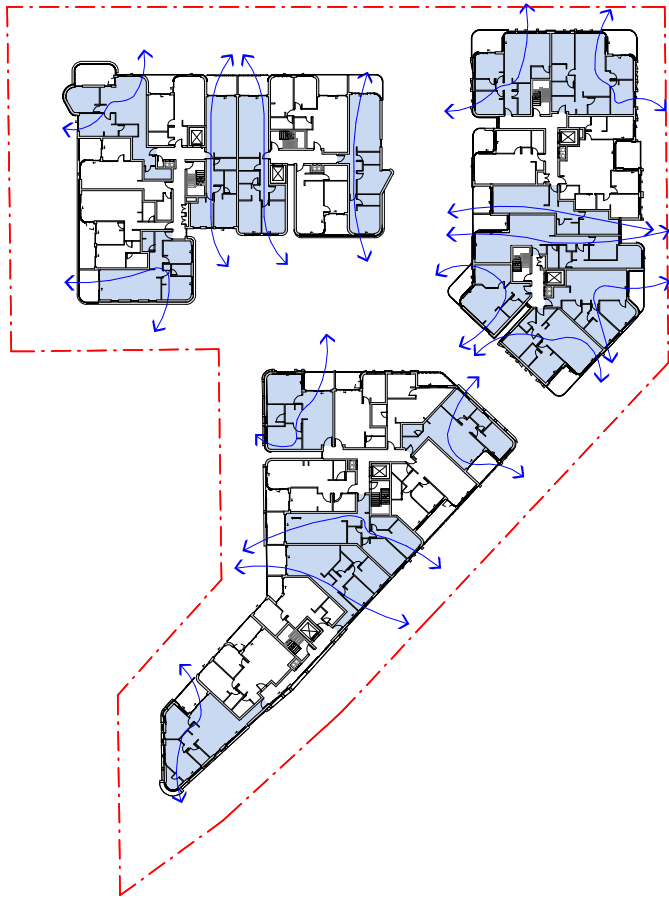
691- 695 Victoria
Road, Ryde

Drawing Title

VENTILATION DIAGRAM 1

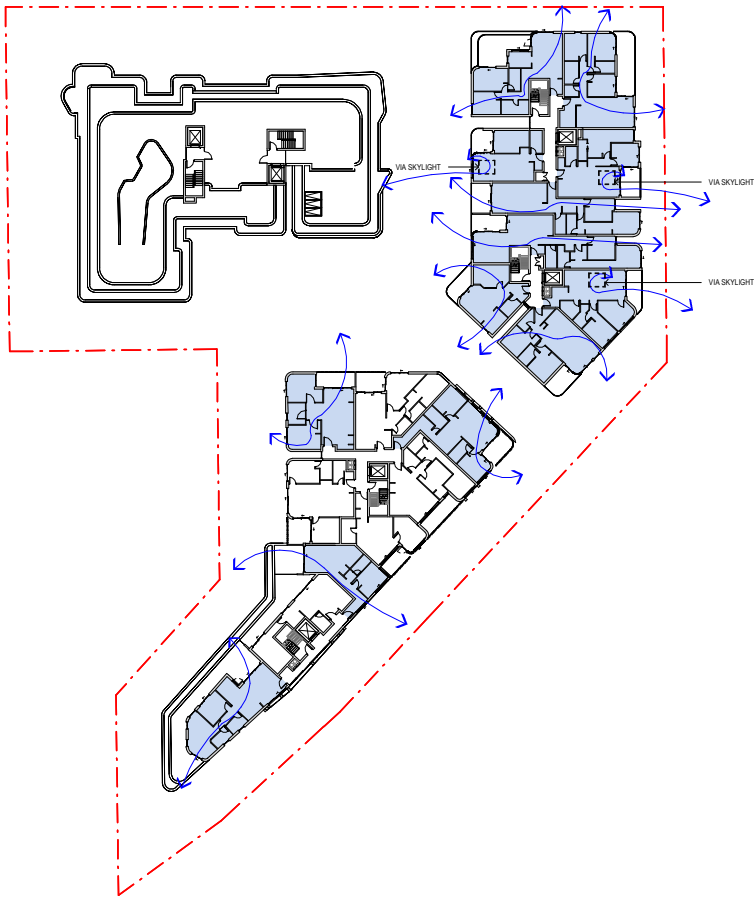
DA SUBMISSION

Job no.	Drawing no.	Rev.
J23589D	DA 7021	A
Drawn by	Checked by	Approved by
SP	RJ	ZC
		Date
		SEP. 2023



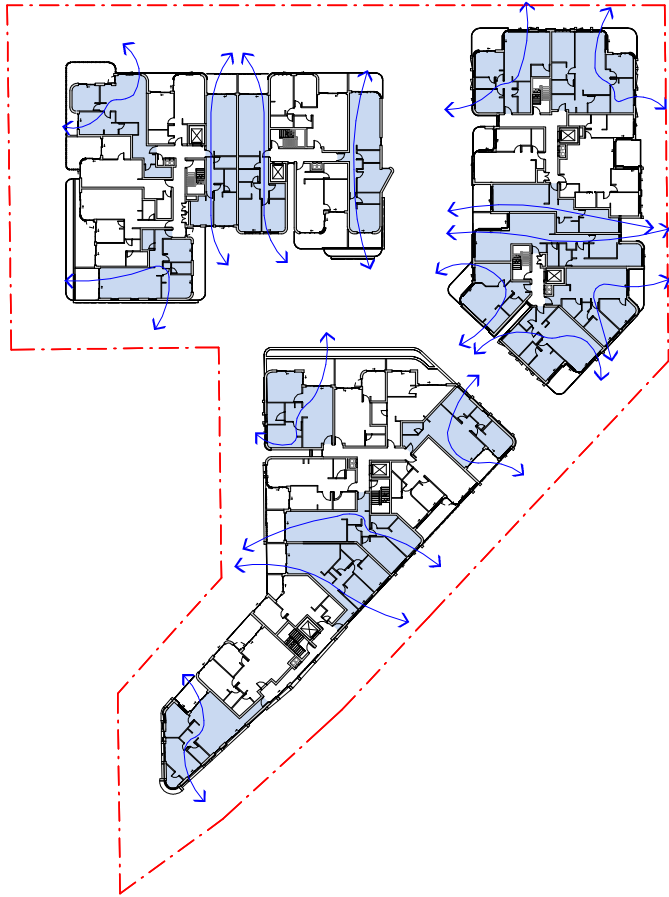
5 VENTILATION - LEVEL 5

1 : 500 at A1 1:1000 at A3



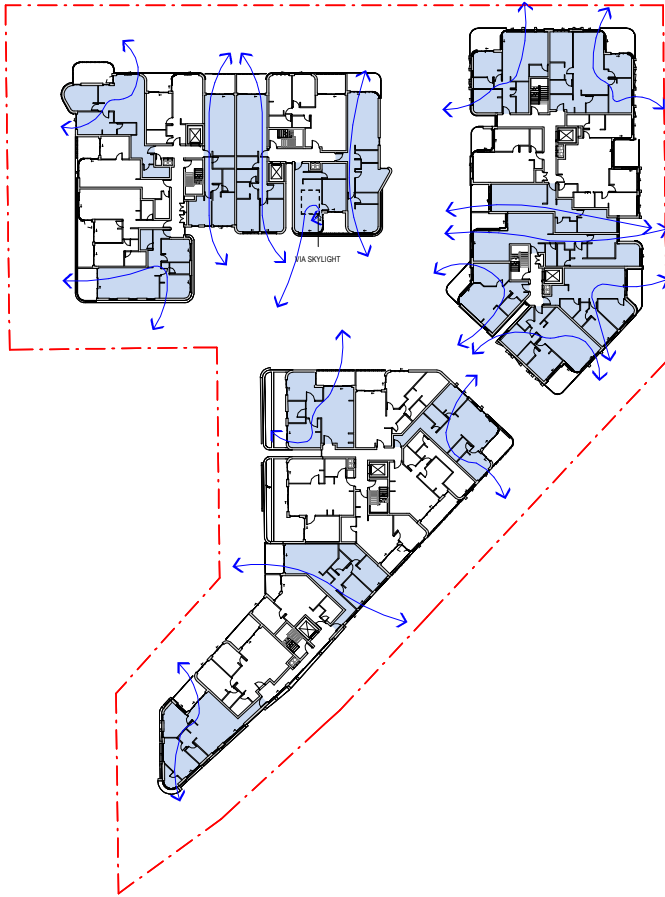
7 VENTILATION - LEVEL 7

1 : 500 at A1 1:1000 at A3



4 VENTILATION - LEVEL 4

1 : 500 at A1 1:1000 at A3



6 VENTILATION - LEVEL 6

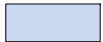
1 : 500 at A1 1:1000 at A3

VENTILATION LEGEND

TOTAL NUMBER OF UNITS	TARGET COMPLIANCE REQUIRED	PROPOSED UNITS RECEIVING NATURAL CROSS VENTILATION
194 UNITS	116.4 UNITS (60%)	119 UNITS (61.3%)



NATURAL CROSS VENTILATED APARTMENTS



NATURAL CROSS VENTILATED APARTMENTS



NATURAL CROSS VENTILATED CORRIDOR

REFERENCES

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Ventilation	Count
No	75
Yes	119

TOTAL: 194

A	27.11.2023	DA SUBMISSION
Rev.	Date	Description
Scale	0	5
m	10	20
	30	40
	1:500 at A1	1:1000 at A3

Project Architect TRUE NORTH

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PROPOSED MIXED USE DEVELOPMENT

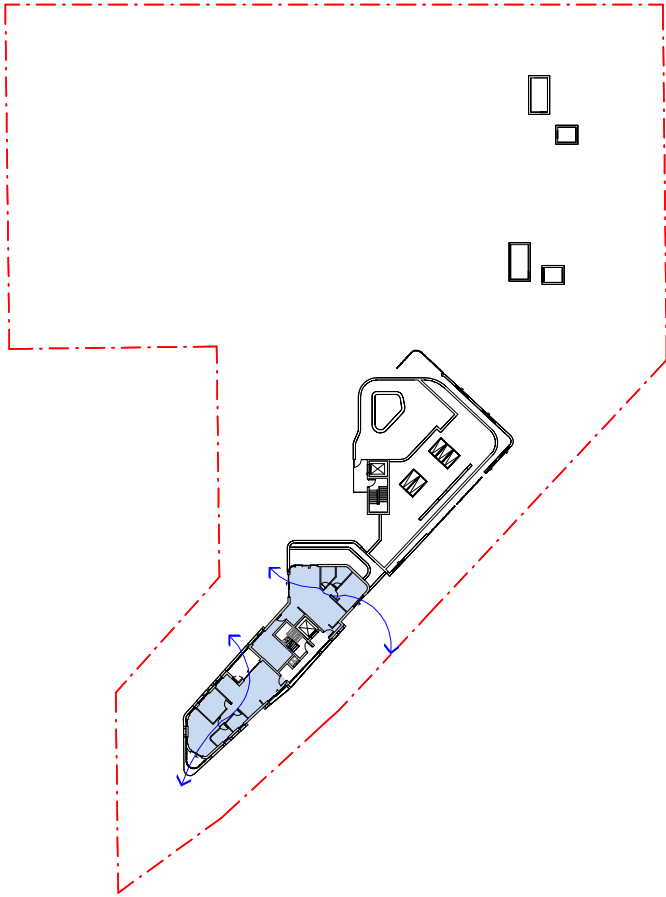
691- 695 Victoria
Road, Ryde

Drawing Title

VENTILATION DIAGRAM 2

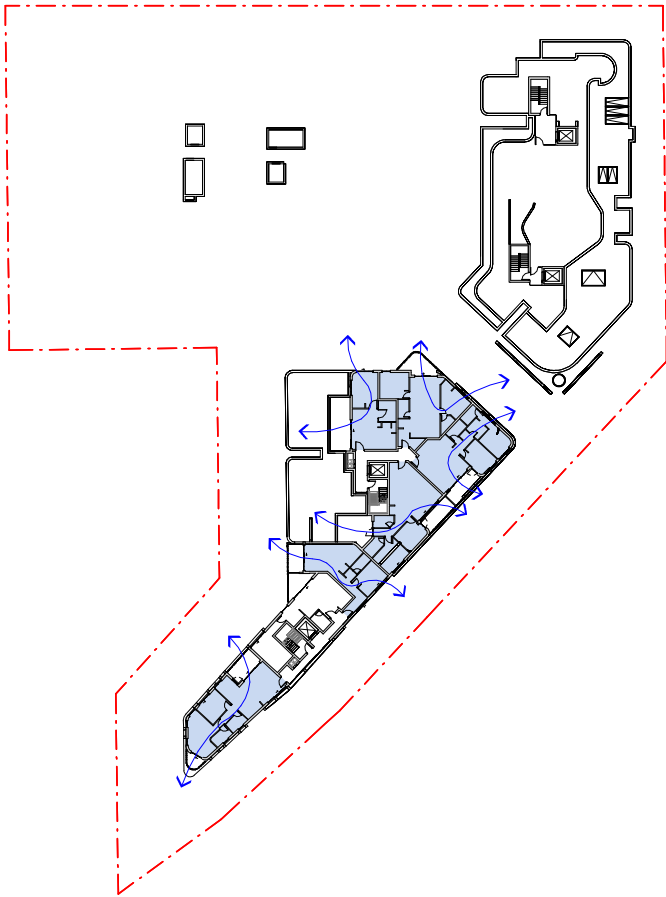
DA SUBMISSION

Job no.	Drawing no.	Rev.
J23589D	DA 7022	A
Drawn by	Checked by	Approved by
SP	RJ	ZC
		Date
		SEP. 2023



9 VENTILATION - LEVEL 9




1 : 500 at A1 1:1000 at A3



8 VENTILATION - LEVEL 8

1 : 500 at A1 1:1000 at A3

VENTILATION LEGEND

TOTAL NUMBER OF UNITS	TARGET COMPLIANCE REQUIRED	PROPOSED UNITS RECEIVING NATURAL CROSS VENTILATION
194 UNITS	116.4 UNITS (60%)	119 UNITS (61.3%)
	NATURAL CROSS VENTILATED APARTMENTS	
	NATURAL CROSS VENTILATED APARTMENTS	
	NATURAL CROSS VENTILATED CORRIDOR	

REFERENCES

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Ventilation	Count
No	75
Yes	119

TOTAL: 194

A27.11.2023DA SUBMISSION

Rev.

Date

Description

Scale

m

0

5

10

20

30

40

1:500 at A1

1:1000 at A3

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Project
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691- 695 Victoria Road, Ryde
Drawing Title

VENTILATION DIAGRAM 3

DA SUBMISSION

Job no.	Drawing no.	Rev.
J23589D	DA 7023	A
Drawn by SP	Checked by RJ	Approved by ZC
Date SEP. 2023		



MATERIAL LEGEND

AWD	ALUMINIUM FRAME WINDOWS & DOORS - DULUX POWDERCOAT FINISH MONUMENT
BR1	AUSTRAL - BOWRAL 50 - BOWRAL BLUE- STRETCHER BOND
BR2	PGH SMOOTH BROWN - STACK BOND
CF1	CONCRETE FINISH - SMOOTH
CFC	JAMES HARDIE STRIA - SILVER TEA SET

MATERIAL LEGEND

MC1	SOLID ALUMINIUM - DULUX MONUMENT
MC2	SOLID ALUMINIUM - DULUX FINISH WHITE ON WHITE
RP1	RENDERED PAINT - DULUX WHISPER WHITE
RP2	RENDER PAINT - MONUMENT
TG	TINTED GLAZING

REFERENCES

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Rev.	Date	Description

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Australian
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PROPOSED MIXED USE DEVELOPMENT

691- 695 Victoria
Road, Ryde

Drawing Title

FINISHES SCHEDULE- SHEET 1

DA SUBMISSION			
Job no.	Drawing no.	Rev.	
J23589D	DA 7061	A	
Drawn by	Checked by	Approved by	Date
SP	RJ	ZC	SEP. 2023



MATERIAL LEGEND

AWD	ALUMINIUM FRAME WINDOWS & DOORS - DULUX POWDERCOAT FINISH MONUMENT
BR1	AUSTRAL - BOWRAL 50 - BOWRAL BLUE- STRETCHER BOND
BR2	PGH SMOOTH BROWN - STACK BOND
CF1	CONCRETE FINISH - SMOOTH
CFC	JAMES HARDIE STRIA - SILVER TEA SET

MATERIAL LEGEND

MC1	SOLID ALUMINIUM - DULUX MONUMENT
MC2	SOLID ALUMINIUM - DULUX FINISH WHITE ON WHITE
RP1	RENDERED PAINT - DULUX WHISPER WHITE
RP2	RENDER PAINT - MONUMENT
TG	TINTED GLAZING

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CFC	JAMES HARDIE STRIA - SILVER TEA SET
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MC2	SOLID ALUMINIUM - DULUX FINISH WHITE ON WHITE
RP1	RENDERED PAINT - DULUX WHISPER WHITE
RP2	RENDER PAINT - MONUMENT
TG	TINTED GLAZING

A	27.11.2023	DA SUBMISSION
Rev.	Date	Description

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Project
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691- 695 Victoria
Road, Ryde

Drawing Title

FINISHES SCHEDULE- SHEET 2

DA SUBMISSION				
Job no.	Drawing no.	Rev.		
J23589D	DA 7062	A		
Drawn by	Checked by	Approved by	Date	
SP	RJ	ZC	SEP. 2023	



BALCONY



FENCE



ALUMINIUM FLAT BAR BALUSTRADE



JAMES HARDIE CLADDING



BRICK & RENDER PAINT



CONCRETE BLADES



BRICKWORK



BRICKWORK WITH ALUMINIUM FRAME

REFERENCES

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A	27.11.2023	DA SUBMISSION
Rev.	Date	Description
Scale	0	1 2 4 6 8
m		1:100 at A1 1:200 at A3

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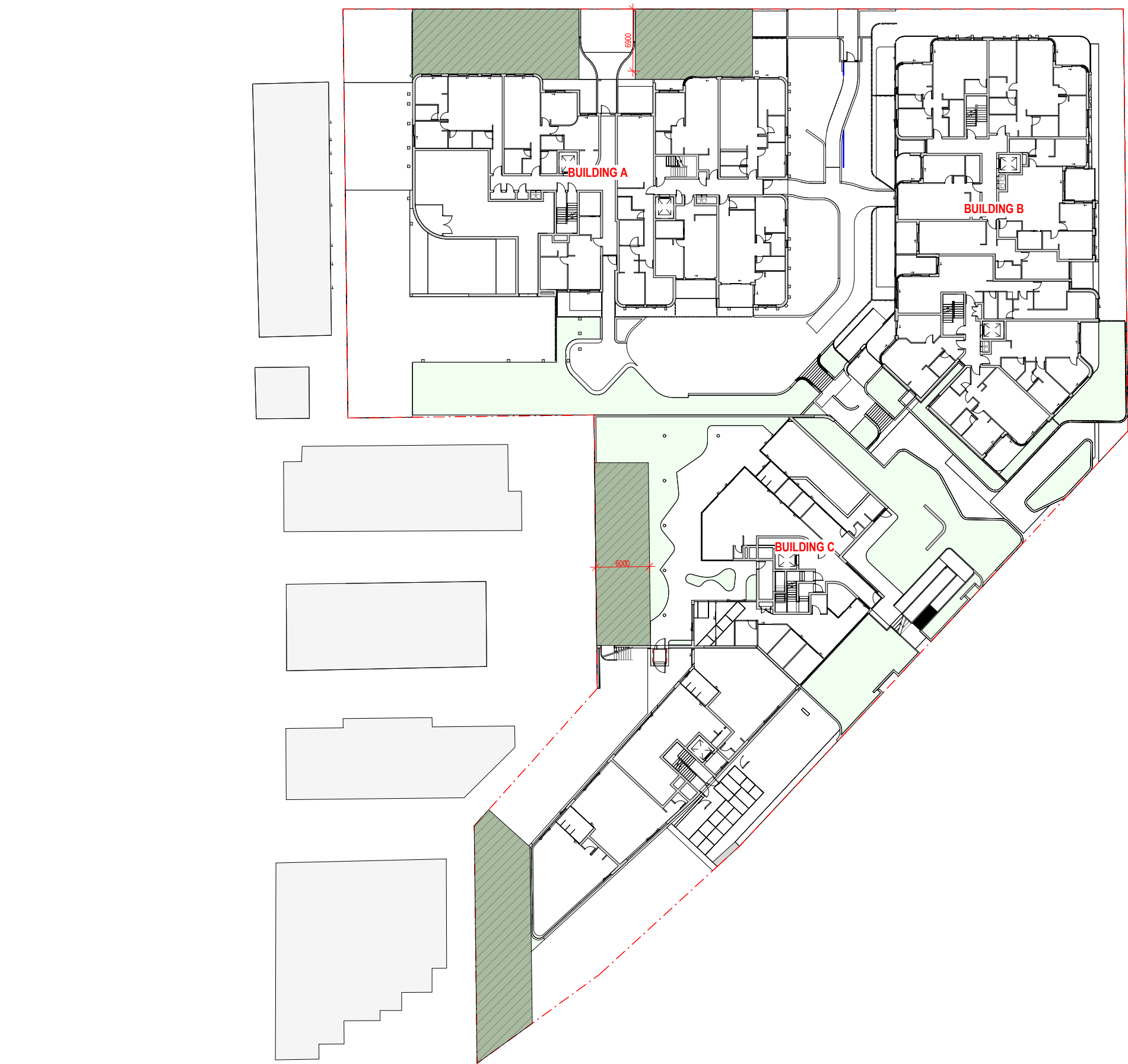


Project
PROPOSED MIXED USE DEVELOPMENT

691- 695 Victoria Road, Ryde
Drawing Title

FINISHES SCHEDULE- SHEET 3

DA SUBMISSION			
Job no.	Drawing no.	Rev.	
J23589D	DA 7063	A	
Drawn by	Checked by	Approved by	Date
SP	RJ	ZC	SEP. 2023



3D DEEP SOIL ZONES

OBJECTIVE 3E - 1

DEEP SOIL ZONES PROVIDE AREAS ON THE SITE THAT ALLOW FOR AND SUPPORT HEALTHY PLANT ANHD TREE GROWTH. THEY IMPROVE RESIDENTIAL AMENITY AND PROMOTE MANAGEMENT OF WATER AND AIR QUALITY.

DESIGN CRITERIA

DEEP SOIL ZONES ARE TO MEET THE FOLLOWING MINIMUM REQUIREMENTS.

SITE AREA	MIN.DIMENSIONS	DEEP SOIL ZONE (%)
<650m ²	-	7%
650m ² - 1500m ²	3m	7%
>1500m ²	6m	7%
GREATER THAN 1500m ² WITH SIGNIFICANT EXISTING TREE COVER	6m	7%

ADG DSZ CALCULATION

TOTAL SITE AREA = 6296.8m²
7% OF TOTAL SITE AREA = 440.776m²

PROPOSED DEEP SOIL ZONE AREA = 509m²
8% OF TOTAL SITE AREA ACHIEVED

REFERENCES

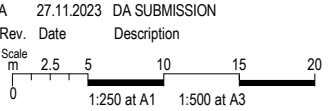
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Project
PROPOSED MIXED USE DEVELOPMENT

691- 695 Victoria
Road, Ryde

Drawing Title

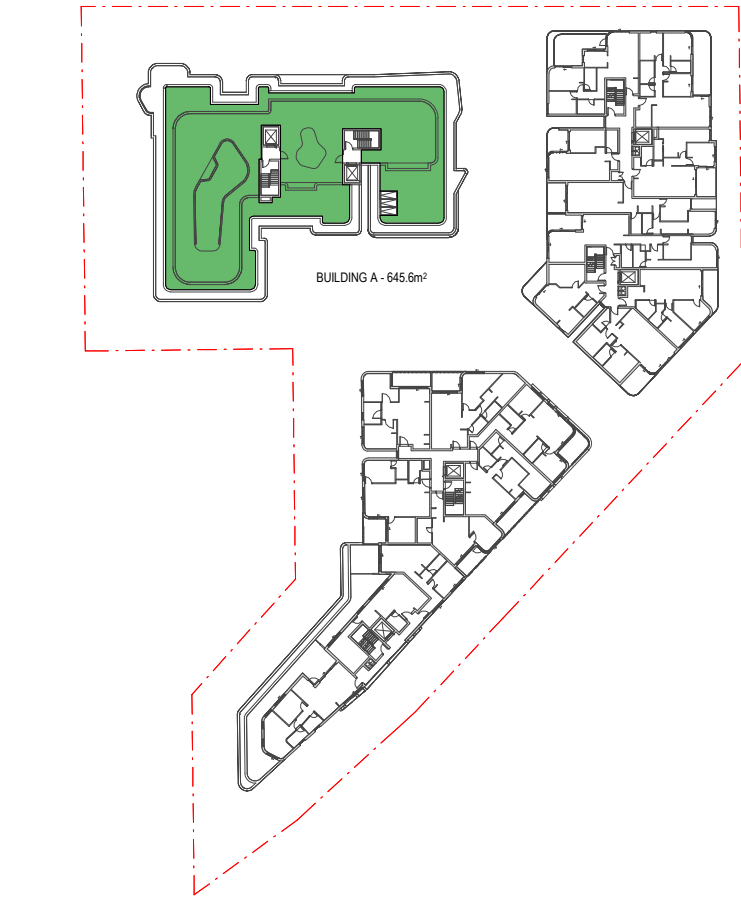
DEEP SOIL ZONE

DA SUBMISSION

Job no.	Drawing no.	Rev.
J23589D	DA 7071	A
Drawn by SP	Checked by RJ	Approved by ZC
		Date SEP. 2023

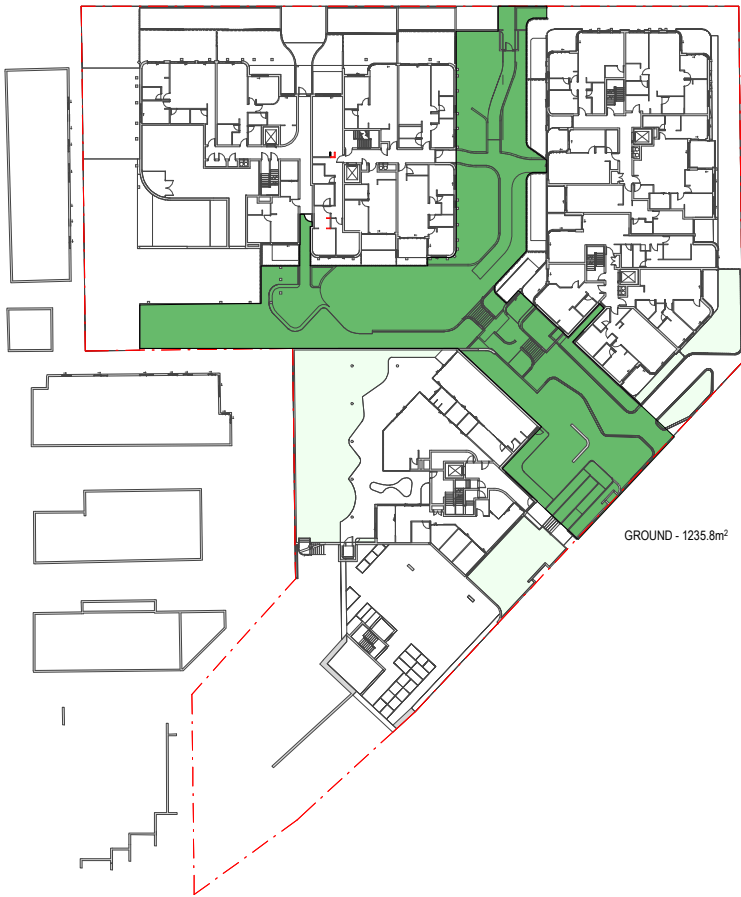
1 DEEP SOIL ZONE CALCULATION

1 : 250 at A1 1:500 at A3



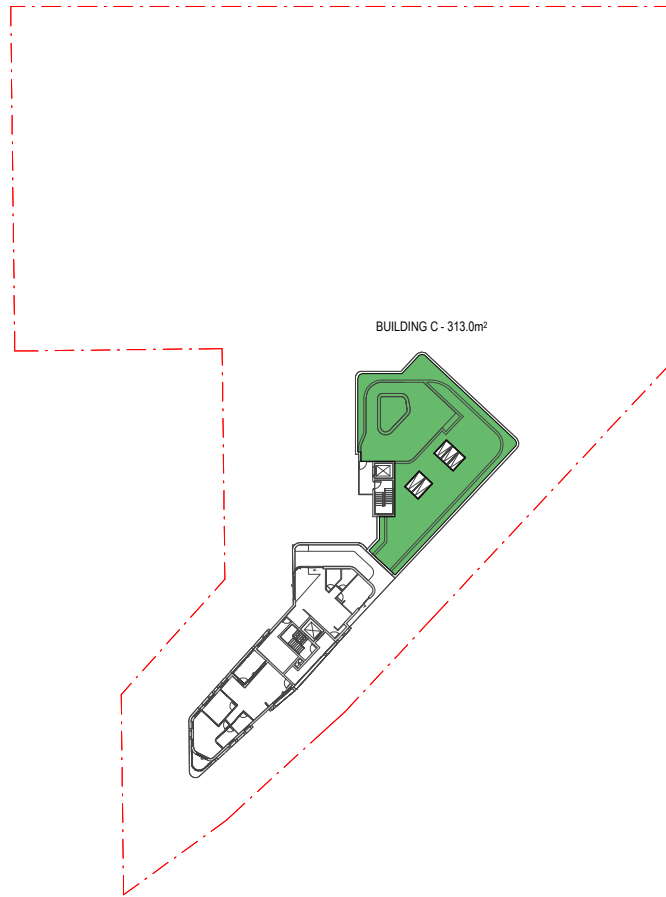
2 COS BUILDING A

1 : 500 at A1 1:1000 at A3



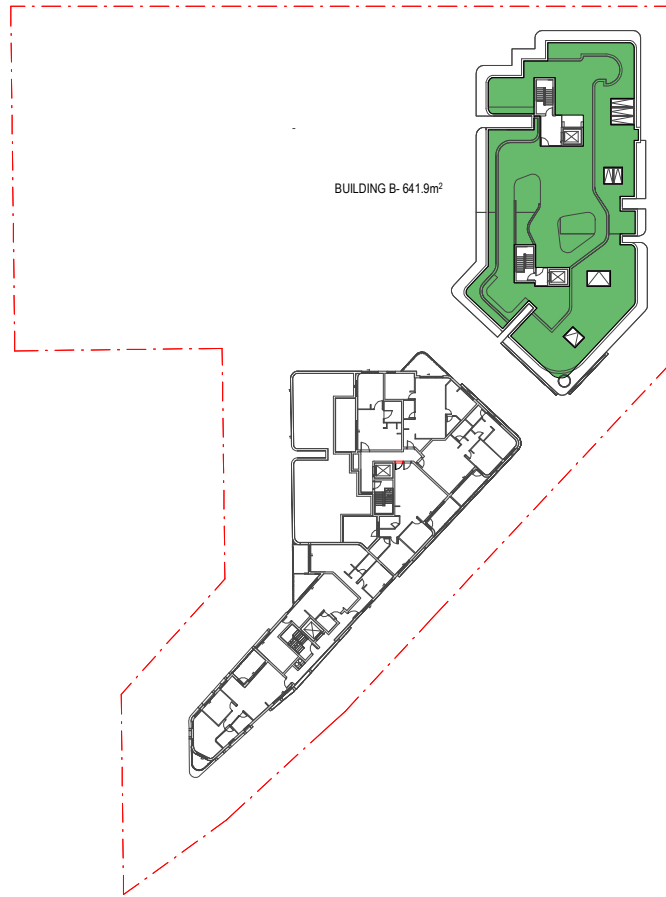
1 COS GROUND LEVEL

1 : 500 at A1 1:1000 at A3



4 COS BUILDING C

1 : 500 at A1 1:1000 at A3



3 COS BUILDING B

1 : 500 at A1 1:1000 at A3

COMMON OPEN SPACE CALCULATION

GROUND LEVEL - 1173.6m²

BUILDING A - 645.6m²

BUILDING B - 641.9m²

BUILDING C - 313.0m²

SITE AREA 6296.8m²

TOTAL COS - 2774.1m²

TOTAL COS - 44% OF SITE AREA

REFERENCES

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A	27.11.2023	DA SUBMISSION
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Scale	0	5
m	10	20
	30	40
	1:500 at A1	1:1000 at A3

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COMMUNAL OPEN SPACE DIAGRAM

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Job no. Drawing no. Rev.

J23589D DA 7081 A

Drawn by SP Checked by RJ Approved by ZC Date SEP. 2023



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Scale	m	
0		

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3D VIEW- SHEET 1

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1 3D HEIGHT BLANKET 1

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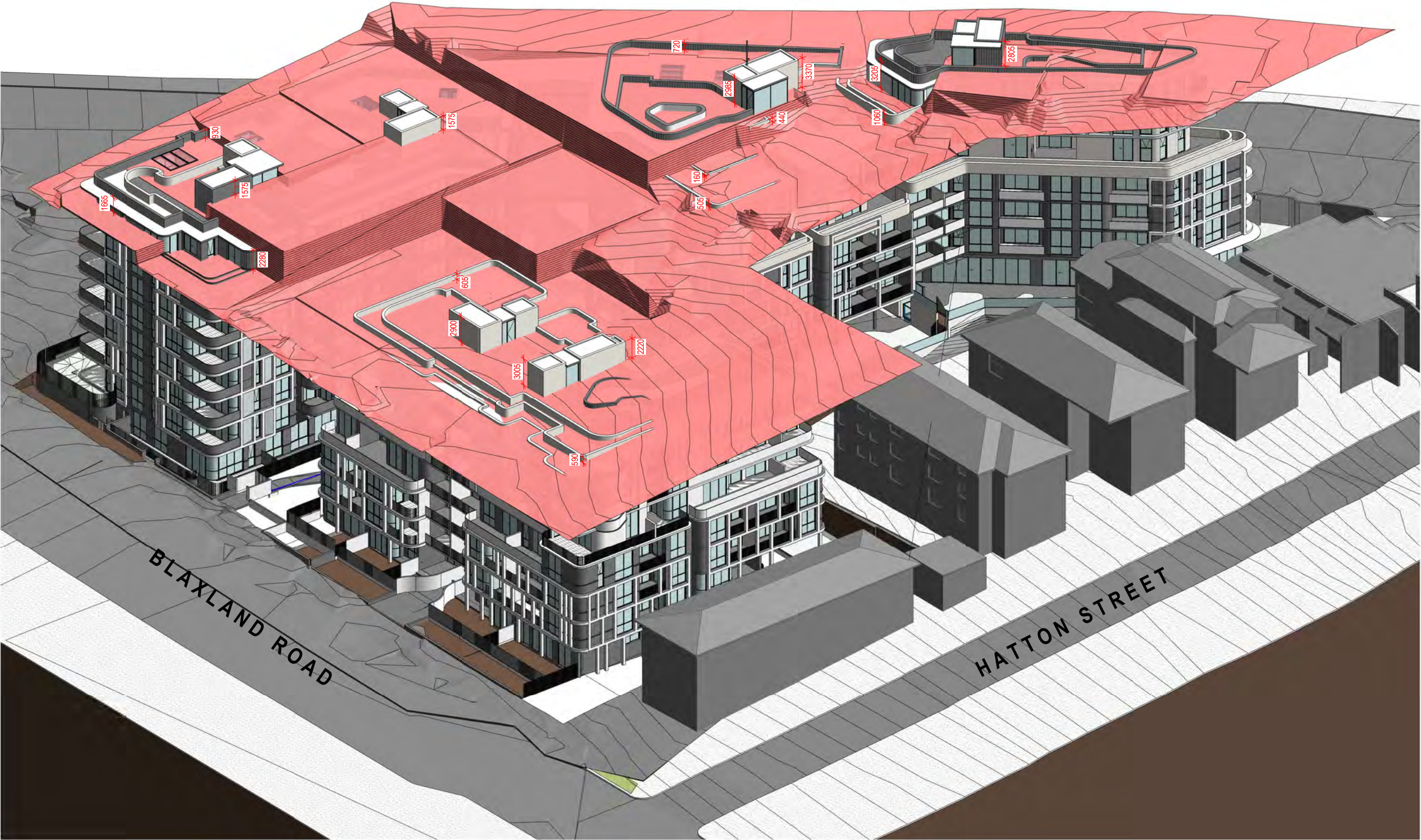
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LEP HEIGHT BLANKET 1

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1 3D HEIGHT BLANKET 2

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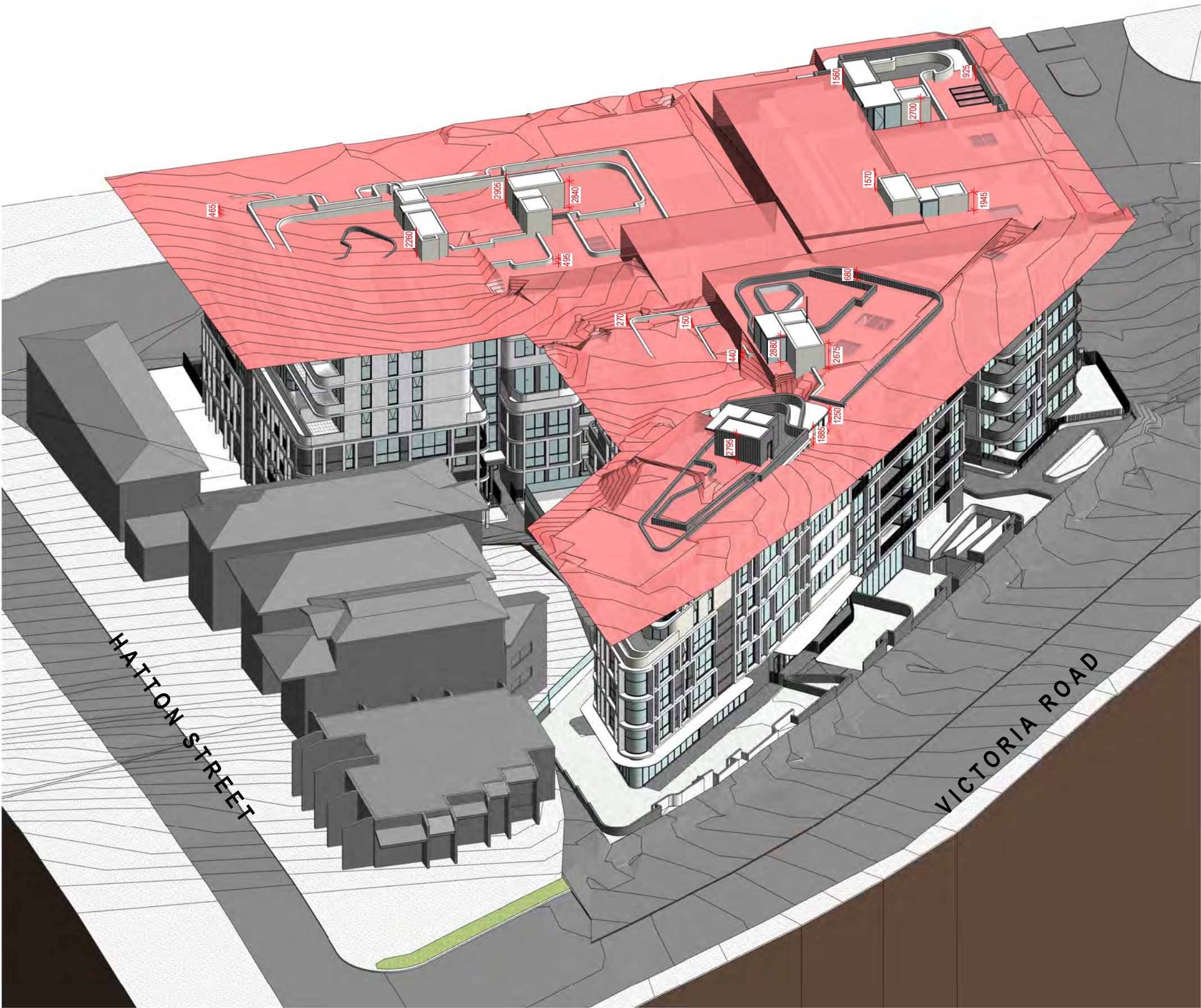
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LEP HEIGHT BLANKET 2

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1 3D HEIGHT BLANKET 3

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